

SCOPE OF WORK

1.ALTERATION ONE FILED TO AMEND THE CERTIFICATE OF OCCUPANCY ACCORDING TO THE DRAWING SUBMITTED

2. REPLACE AND WITHDRAW PREVIOUSLY FILED RELATED JOB APPLICATIONS WHICH ARE OUT-DATED AND NOT SIGNED OFF WHILE PERMITTED/APPROVED. (APPLICATION # 101089144, 103081308, & 103158949)

3. BUILD UP PARAPET & CORNICE AS SHOWN IN PLAN

N.Y.C. GENERAL NOTES

1. In conflict between these notes on this page and specifications, these notes shall have precedence. Written dimensions on these drawings shall have precedence over scaled dimensions.

2. Contractors shall verify and be responsible for all dimensions and conditions on the job, and the Architect's office must be notified of any variations from the dimensions and conditions shown on these drawings.

3. All construction dimensions and details shall concur with and be determined by these drawings only.

4. All materials and construction to be incorporated in the work shall be in strict accordance with the latest edition of the ASTM and Federal Specifications applicable and to conform to the standards and recommendations of the various trade institutes (A.C.I., A.I.S.C., etc.) where applicable. All materials incorporated into the work shall be new and conform to the N.Y.C. Board of Standards and Appeals.

5. Contractors shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortions and misalignment according to applicable codes, standards and good practice.

6. Construction shall comply with all Federal, State and Local codes, ordinances, rules and regulations pertaining to labor and materials.

7. All masonry walls are to be carried up and secured tight against roof deck, steel, or slab above unless otherwise indicated.

8. For all work beyond the property line, permit will be obtained from the Highway Department.

9. Ceiling spaces shall be fire stopped into areas not exceeding 3,000 sq. feet per C26-502.5.

10. All notes herein mentioned shall apply to all drawings and form part of the contract.

11. The following items at work shall be subject to controlled inspection, made and witnessed by or under the supervision of an Architect of Engineer who shall be acceptable to the Commissioner. Test reports and Certificates of Inspection shall be filed with the Building Department.

FINAL INSPECTION 28-116.2.4.2 BC 109.5
DIRECTIVE 14 OF 1975 AND 1 RCNY 101-10

12. Mechanical Ventilation shall be provided where required as per C26-1206.2, C26-1206.3.

13. Statement of Compliance shall be submitted under Amendment to Conform to C26-121.9.

14. This structure and interior shall be erected in accordance with the requirements of the Building Code for the Occupancy and Construction Classification under which it is filed.

15. All steel lintels over openings greater than 4'-0" shall be fireproofed with wire lath in 2"F.C. mortar per C26-502.4. The length of such lintels shall be 1'-4" longer than the masonry opening.

16. All exits shall be kept readily accessible and unobstructed at all times.

17. Illumination of at least 5 foot candles measured at the floor level shall be maintained continuously during occupancy in exits and their access facilities.

18. Exit signs may be phosphorescent or internally lighted, having an initial brightness of the letters of at least 25 feet lamberts. Letters shall be red, the background shall be white, letters shall be block lettering at least 41/2" high with 9/16" strokes.

19. Exit lighting shall be on a circuit that is separate from any other circuit taken off ahead of the main switch.

20. Provide and install flashing, at exterior lintels and under sills.

21. Provide chases and pockets as shown or as required by other trades.

22. Contractor must verify all dimensions and conditions at the premises, before work is begun. He will be held responsible for same. All discrepancies must be reported immediately to the Architect.

23. All dimensions are to finish unless otherwise indicated.

24. All work shall conform to the requirements of all applicable city ordinances, building codes, state laws and rules, regulations and requirements of other duly constituted authorities having jurisdiction over the work.

25. Contractor must obtain all required permits before any work is begun, and pay for same.

26. All existing partitions, plumbing fixtures, etc. not shown on plans shall be removed unless otherwise noted.

27. No work beyond building line will be started before permit from the Dept. of Highways is obtained.

28. Patch existing surfaces to remain as necessary to be comparable to existing surface construction. All defective materials are to be replaced similar to existing.

29. Supply and install new electric wiring, equipment and fixtures throughout.

30. Contractor shall verify if existing ventilation is functioning and conforms to code requirements. Reuse existing ventilation where possible.

31. Repair and replace with all new windows and doors as required. Repair and refinish existing floors as required.

32. All new gypsum board surfaces shall be taped, coat spackled and sanded smooth. Metal edge trim and corner bead shall be used where required.

33. Supply and install new bathroom fixtures and accessories as shown in drawings and specifications.

34. All bathroom doors shall be undercut as required to allow for air ingress.

GENERAL NOTES

1. All work shall conform to the requirements of the New York City Building Code, Fire Department regulations, utility company requirements, and the best trade practices.

2. Before commencing work, the Contractor shall file all required Certificates of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by governing New York City agencies.

3. The Contractor shall verify all existing conditions in the field prior to commencing work, and shall report any discrepancies between drawings and field conditions to the Architect. The Architect will review the questions and issue a clarifying addendum.

4. Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.

5. The Contractor shall coordinate all work procedures with requirements of local authorities, building management, or board of directors.

6. The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.

7. The Contractor shall lay out his own work, and shall provide all dimensions required for other trades (plumbing, electrical, etc.).

8. Plumbing and electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain permits, inspections, certifications, and required sign-offs.

9.The Contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job. The contractor shall furnish all labor and materials necessary to provide a complete and finished space whether or not needed items are specified or shown.

10.All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.

11. The General Contractor shall comply with all rules and regulations of subchapter 19 of the New York City Building Code; Safety during the construction operations.

12. The General Contractor shall be responsible for arranging with the building management for the elevator or other facilities for handling materials.

13. The General Contractor shall provide all necessary protection and cleaning of the premises for and after all trades.

14. The General Contractor shall submit all shop drawings as required to the Architect for approval prior to commencement of the work.

15. Unless otherwise specified all work is to be performed by the General Contractor.

16. The Contractor shall be responsible for providing adequate fire safety to the tenants in accordance with the NYC Fire Department and the NYC Building Department Regulations.

17. If there are any structural changes required during construction, a written notification shall be sent to the Architect prior to any such change.

18. All debris shall be disposed of in a legal and proper manner. No debris shall be left in public halls. All dust shall be controlled with the use of drop clothes.

19. Construction hours to be determined in cooperation with Coop Board Requirements. There shall be no construction work during evening hours or on weekends or holidays.

20. If any such services such as hot or cold water will be turned off for a period of time, it is the General Contractor's responsibility to notify the managing agent of such work in advance.

21. Where fireproofing is damaged or missing General Contractor shall patch and or repair using appropriate materials and methods.

22. Items subject to controlled inspection are fire stopping per section 27-345 and mechanical ventilation per section 27-779.

23. The Contractor shall not damage or endanger any portion of the work, or the work of the Owner by cutting, patching, or otherwise altering any work without written consent of the Owner.

24. The provisions of RS 4-6 shall apply for new work to provide for people with physical disabilities.

25. Primary entrance and internal accessible routes shall comply with section 27-292.5.

26. Alarms shall provide both visible and audible warning. Signage shall comply with section 27-292.18 symbols and characters as set forth in RS 4-6.

27. The General Contractor is to verify all requirements for telephone wiring with the NYNEX Company and the vender of the telephone equipment.

28. All telephone, electrical, and computer cables shall be concealed throughout the space whenever possible.

29. The drawings and specifications have been developed as a directive to the General Contractor in keeping with the intent of the Owner and Architect's understanding of normal construction practices. However, should any item be omitted from the drawings or specifications necessary to the proper construction of the work, or should there be contradictory information pertaining to the location or execution of the work, it shall be the responsibility of the General Contractor to call such circumstances to the attention of the architect before the work commences. The contractor shall submit for the approval of the architect shop drawings for mechanical layouts, equipment, or specified custom fabrication when requested by the architect.

30. The Contractor, upon completion of the work, shall arrange for Department of Buildings inspections and signoffs as required.

31. All intercom work is to be done by the buildings subcontractor.

GENERAL REQUIREMENTS

1) All proposed work is to be reflected on the drawings and performed in the field is to comply with all applicable codes and regulations of all governing agencies. Where there is a conflict between said agencies the more stringent requirements are to apply. Work shall be filed for as required by code with the applicable agencies. All required permits are to be conspicuously displayed. Copies of all approved DOB drawings and permits are to be provided to Management.

2) Any asbestos containing material ("ACM") is to be filed for, removed, handled and legally disposed of as per applicable codes, rules and regulations to be performed by a fully licensed and insured asbestos abatement company with copies of air monitoring reports to be provided to the managing agent. If during demolition suspected ACM is uncovered it is not to be disturbed until proper testing is performed and if required abated.

3) All work is to comply with house alteration rules and regulations a copy of which is to be provided to the affected Unit Owners Consultant(s) and Contractor (s) by the Building management company. Where conflicts between the house rules and requirements of this letter exist, the more stringent are to apply unless so otherwise directed by the Building.

4) Copies of Contractor insurance certificates are to be provided the managing agent prior to the commencement of work and we recommend that insurance is to be maintained for a minimum of 12 months after the conclusion of construction.

5) Work is to be performed in such a manner so as to minimize disruption to other apartment Owners/residents to include but not be limited to noise, dust migration and use of elevators. If disruption in Building's Services (i.e. water, electric, etc.) is required the result of the proposed work, then said disruption is to be coordinated between the Contractor and Building Management and or superintended with proper notification time as required by the Building. Contractors are to provide all required floor and wall protection and use of the elevators is to be limited to the service elevator is the Building is so equipped. Elevator wall pads are to be provided by the Building and installed by Contractors.

6) Proposed work is to not impede/obstruct access to Building Systems (including those in the affected apartment) by Building personnel and or Contractors who may have to perform repair work and or replacement. Removal of items installed so as to facilitates repair /replacement of Building components/systems is to be the full, sole and financial responsibility of the Unit Owner where work was performed.

7) We have no knowledge as to the location of all electric and plumbing risers within the existing walls of the subject apartment. The Contractor and the Design Architect will have to share the responsibility for knowledge of their existence, as well as for planning around them.

8) The following is to be the full, sole and financial responsibility of the Unit Owner where said work is being performed.

a.Damages to adjacent apartments and or Building Areas as the result of the proposed work, including damage due to water infiltration.

b.Any and all violations issued to the Building the result of the proposed work or as a result of actions by the Contractor.

c.Corrective work required during or after construction so as to comply with code, the Architect's drawings and the Building's Alteration Rules

LOCAL LAW #58/87 NOTES (RESIDENTIAL PROJECTS)

1. Proposed work to comply with applicable requirements of Local Law #58/87 for handicapped access.

2. Proposed bathroom to comply with applicable requirements of Local Law #58/87 and RS 4-6 4.32.4 for handicapped access, including:

a. New Bathroom walls to be provided with blocking, installed within the walls. making them adaptable to grab bar, handrail and shower seat attachments meeting the requirements of RS 4-6, 4.24.3.

b. Fixtures to be provided with required clear floor space as per the requirement of 4.32.4.2, 4.3, 4.4, 4.5. New fixtures to be subject to the requirements of 4.32.4 concerning dimensions and adaptability, as per attached details.

c. Bathroom door and buck shall be provided to allow remounting of door on same frame to achieve alternative swing.

3. Controls and operating mechanisms shall be operable with one hand and shall not require tight grasping, pinching or twisting of the wrist, as per RS 4-6, 4.25.4.

4. Accessible routes to be provided between new facilities, providing a minimum of 36 inches of width along the accessible route as per RS 4-6, 4.3.1, and a minimum of 32 inches of width at doorways, as per RS 4-6, 4.13.5.

TENANTS SAFETY PLAN

1. General: All work to be done in accordance with the New York City Building Code, Article 19, and regulations of all other agencies having jurisdiction.

2. Structural: Contractor to provide adequate temporary bracing and shoring wherever any structural work is involved.

3. Fire Safety: All building materials stored at the construction area, and/or in any area of the building are to be secured in a locked area. Access to such areas to be controlled by Owner and/or the General Contractor.

4. Dust Control: Debris, dirt, and dust are to be kept to a minimum, and are to be confined to the immediate construction area; and to be cleaned up and cleared from the building periodically to avoid any excess accumulation.

5. Noise After Hours: Construction operations will be confined to working hours to be determined in cooperation with Coop Board Requirements.

6. Noise After Hours: Construction operations will be confined to normal working hours: 9 a.m. to 5 p.m., Mondays through Fridays, except legal holidays. If these hours conflict with that set forth by the Coop Board Requirements, then the hours of the Coop Board Requirements are to be followed.

7. Construction Operations will not involve interruption of heating, water, or electrical services to other tenants of the building.

6. Construction work will be confined to the proposed constructing floor. Contractor will limit to the minimal, the amount of dust, dirt or other such inconveniences created to all other areas within the building.

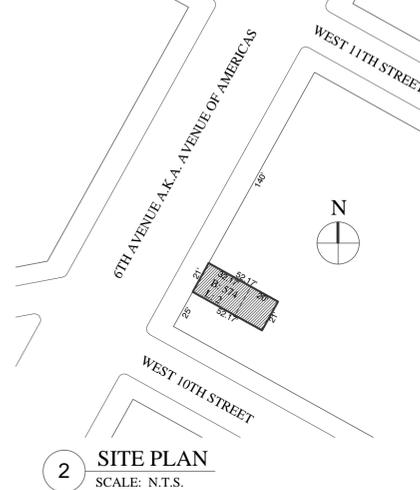
9. There will be no one occupying the proposed construction area to be renovated during the course of construction work.



1 PARTIAL ZONING MAP 12C

SCALE: N.T.S.

BLOCK #: 574 LOT #: 2 ZONING DISTRICT: C1-6 MAP #: 12C



2 SITE PLAN

SCALE: N.T.S.

DRAWING LIST

T-001.01	ZONING MAP, SITE PLAN & GENERAL NOTES
EN-001.00	ENERGY ANALYSIS & ADA DIAGRAMS & NOTES
FM-001.00	FEMA MAP
A-001.01	CELLAR, 1ST AND 2ND FLOOR PLAN
A-002.01	3RD, 4TH AND ROOF FLOOR PLAN
A-003.01	SECTION, VIEW DIAGRAM
A-004.01	FRONT ELEVATION
A-005.01	REAR ELEVATION

SPECIAL INSPECTION

FIRE STOP, DRAFT STOP, AND FIRE BLOCK SYSTEMS -BC 1704.25

PROGRESS INSPECTION

ENERGY CODE COMPLIANCE INSPECTIONS

-BC 109.3.5
INSULATION PLACEMENT AND R VALUES
-IA2, IA2
FENESTRATION THERMAL VALUE AND RATINGS
-IA3, IA3
FENESTRATION RAITINGS FOR AIR LEAKAGE
-IA4, IA4
AIR SEALING AND INSULATION-VISUAL
-IA6, IA6

FINAL INSPECTION

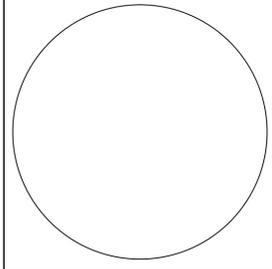
-28-116.2, BC 109.5 DIRECTIVE 14 OF 1975 & 1 RCNY 101-10

444 6TH AVENUE

444 6TH AVENUE
NEW YORK, NEW YORK

NOTES

SEAL & SIGNATURE



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TITLE:

ZONING MAP, SITE PLAN ,
GENERAL NOTES

CURRENT AS OF:

2/2/2015

SCALE:

NTS

DRAWING #:

T-001.00

SHEET #:

01 OF 09

Additional Information

10315894 9
DEPT. OF BLDGS.

1 Filing Status
Job Number 103158949
Sheet Number 1 of 1 Sheets

2 Additional Information
RECONSIDERATION
Kindly request reconsideration of the objection questioning the legality of the top floor (fourth) of 444 SIXTH AVENUE. We have a photograph from 1940 and a survey from 1937 to prove the existence of the structure over sixty years ago. The top floor should be considered "grandfathered" in place.

thank you
JOHN J. O'GRADY
SEP 12 2002
ACCEPTABLE FOR PERMIT UNDER DIRECTIVE NO. 124972

D. J. Streiffeld
DILEEP KHEDEKAR
ACTING 1st DEPUTY BOROUGH COMMISSIONER
N.Y.C. DEPT. OF BUILDINGS
MANHATTAN OFFICE

3 Statements and Signatures
I hereby state that all of the above information is complete and correct to the best of my knowledge.
Applicant Name: Ira D. Streiffeld
Signature: [Signature] Date: 8/13/02

Additional Information

10315894 9
DEPT. OF BLDGS.

DEPARTMENT OF BUILDINGS Address 444 6th Ave

1 Filing Status
Job Number 103158949
Sheet Number 1 of 1 Sheets

2 Additional Information
#5. Reconsideration respectfully requested to accept, in lieu of a stairs from the 3rd floor to the roof, a vertical ladder within a 1 hour rated enclosure, from the 3rd floor to the 4th floor, to be offset at the 4th floor, to the roof via a scuttle.

JOHN J. O'GRADY
SEP 12 2002
ACCEPTABLE FOR PERMIT UNDER DIRECTIVE NO. 124972

D. J. Streiffeld
DILEEP KHEDEKAR
ACTING 1st DEPUTY BOROUGH COMMISSIONER
N.Y.C. DEPT. OF BUILDINGS
MANHATTAN OFFICE

3 Statements and Signatures
I hereby state that all of the above information is complete and correct to the best of my knowledge.
Applicant Name: Ira D. Streiffeld
Signature: [Signature] Date: 9/3/02

THE NEW YORK CITY LANDMARKS PRESERVATION COMMISSION
1 CENTRE STREET 9TH FLOOR NORTH NEW YORK, NY 10007
TEL: 212 669-7700 FAX: 212 669-7780

June 25, 2002

ISSUED TO:
Michael Pagano
NVP Corp.
444 6th Avenue
New York, NY 10004

Re: STATUS UPDATE LETTER
LPC - 025519
SUL 02-7484
444 6TH AVENUE
HISTORIC DISTRICT
GREENWICH VILLAGE
Borough of Manhattan
Block/Lot: 574 / 2

This letter is to inform you that at the Public Meeting of June 24, 2002, following the Public Hearing of the same date, the Landmarks Preservation Commission voted to approve certain work at the subject premises as put forward in your application completed on May 23, 2002. This approval will expire on June 24, 2008.

The Commission voted to approved modifying the existing rooftop addition. However, the Commission made its determination subject to the stipulation that two copies of the signed and sealed final drawings that are to be filed with the Department of Buildings, be submitted to the Commission for review and approval.

Please note that all drawings, including amendments which are to be filed at the Department of Buildings, must be approved by the Landmarks Preservation Commission. Thank you for your cooperation.

James Dillon
James Dillon

Please Note: THIS IS NOT A PERMIT

cc: Ira D. Streiffeld; Sarah Carroll, Deputy Director of Preservation

444 6TH AVENUE
444 6TH AVENUE
NEW YORK, NEW YORK

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TITLE:
SUPPORTING DOCUMENTS

CURRENT AS OF:
2/2/2015

SCALE:
NTS

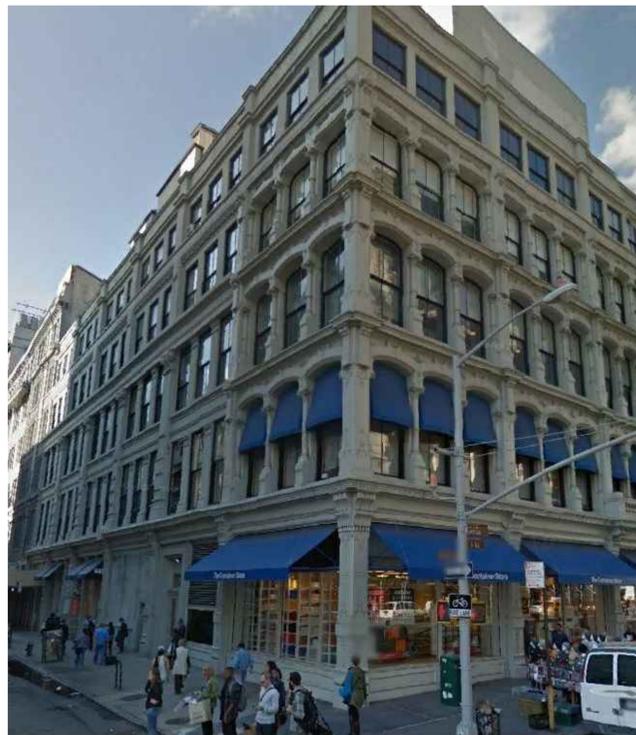
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T-002.00

SHEET #:
02 OF 09





675 6TH AVE



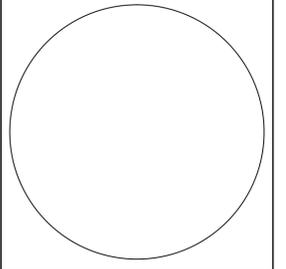
101 WEST 18TH STREET

444 6TH AVENUE

444 6TH AVENUE
NEW YORK, NEW YORK

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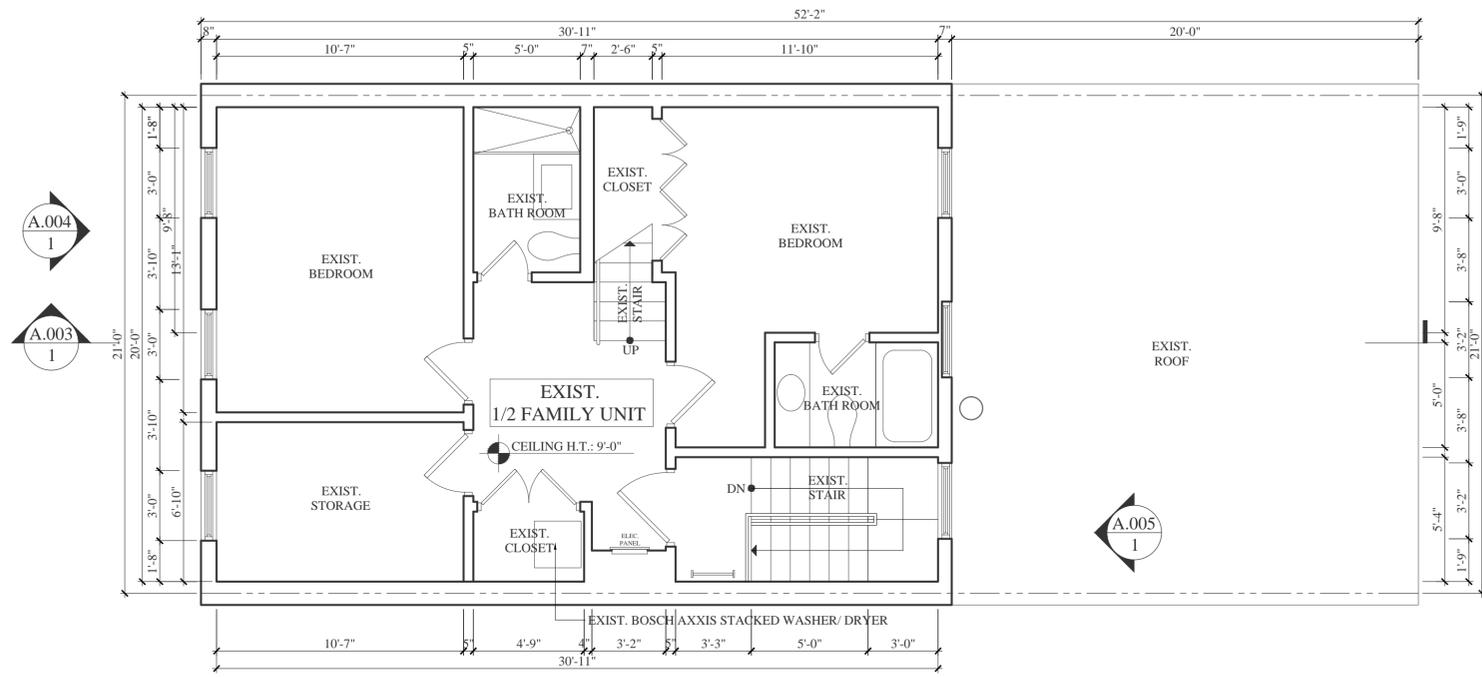
TITLE:
CASE STUDY
OF SIMILAR LAND MARK
BUILDINGS

CURRENT AS OF:
2/2/2015

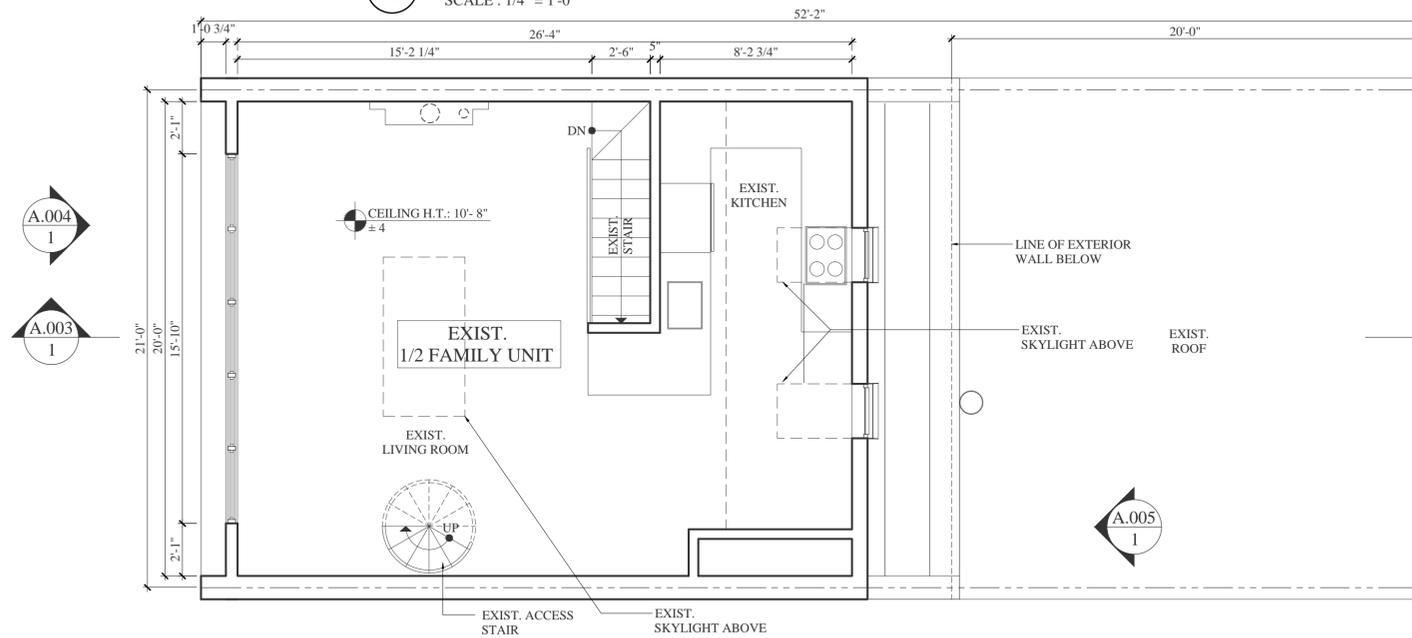
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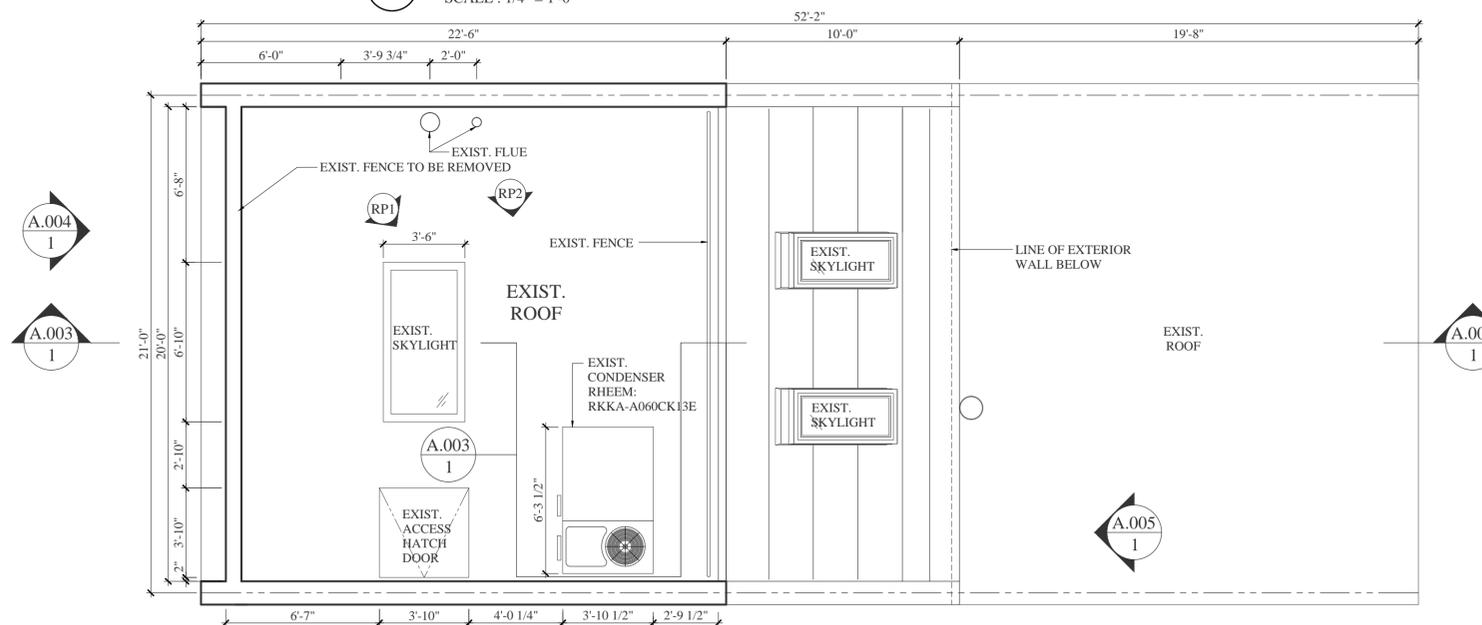
SHEET #:
02 OF 09



1 3RD FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 4TH FLOOR PLAN
SCALE: 1/4" = 1'-0"



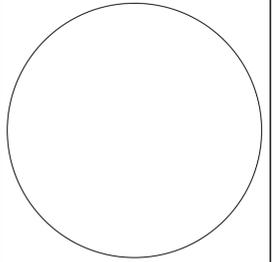
3 ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE:
DO NOT SCALE DRAWINGS
VERIFY ALL EXISTING CONDITIONS
ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT

444 6TH AVENUE
444 6TH AVENUE
NEW YORK, NEW YORK

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TITLE:
3RD, 4TH & ROOF
FLOOR PLANS

CURRENT AS OF:
2/2/2015

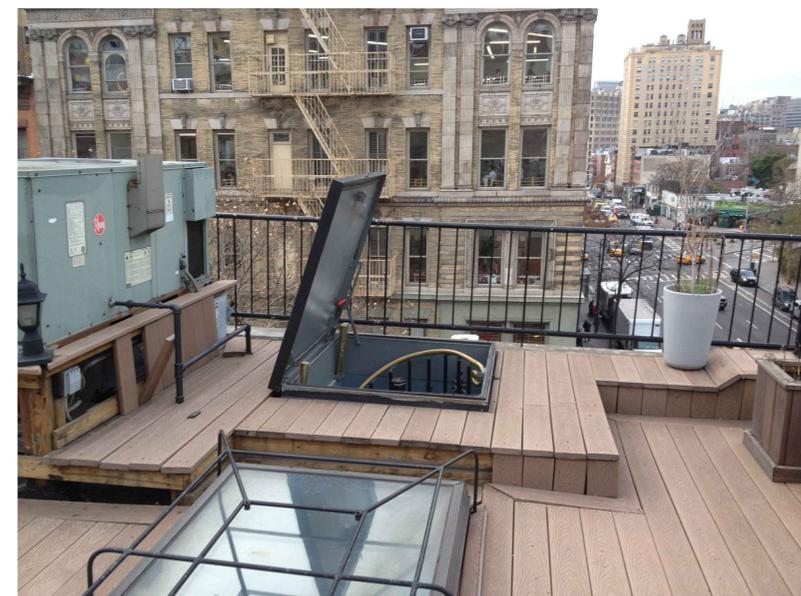
SCALE:
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DRAWING #:
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SHEET #:
06 OF 09

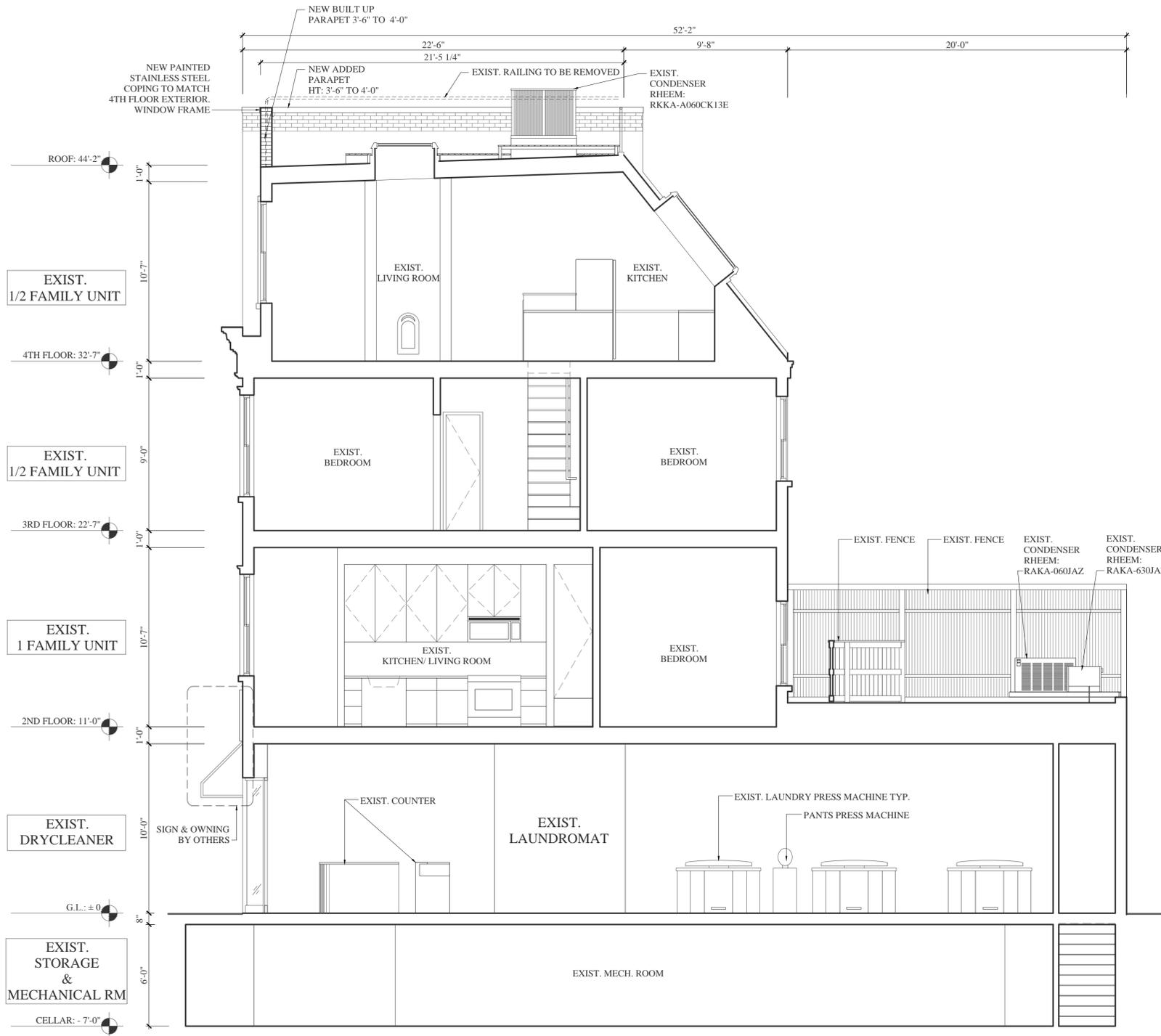


RP1 REFERENCE EXIST. PHOTO 1



RP2 REFERENCE EXIST. PHOTO 2

NOTE:
DO NOT SCALE DRAWINGS
VERIFY ALL EXISTING CONDITIONS
ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT



1 SECTION
 SCALE: 1/4" = 1'-0"

444 6TH AVENUE

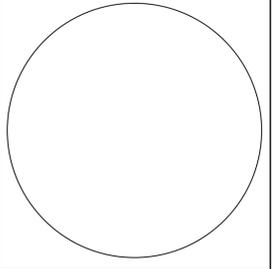
444 6TH AVENUE
 NEW YORK, NEW YORK

NOTES

ISSUED TO CO-OP BOARD 5/3/2012

ISSUED TO CLIENT 5/3/2012

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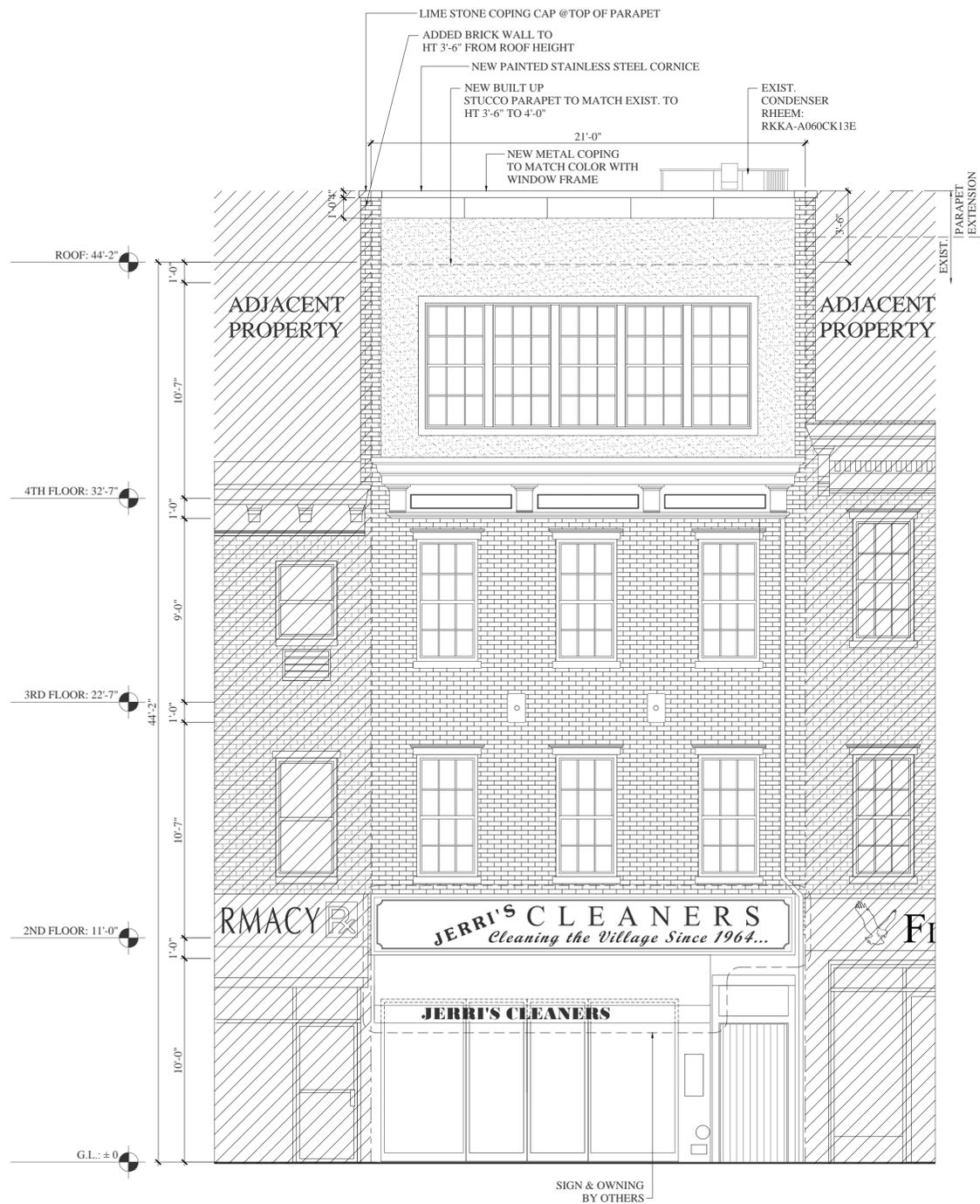
TITLE:
**SECTION &
 VIEW DIAGRAM**

CURRENT AS OF:
 2/2/2015

SCALE:
 AS NOTED

DRAWING #:
 A-003.00

SHEET #:
 07 OF 09



1 EXIST. FRONT ELEVATION PHOTO
SCALE: 1/4" = 1'-0"

NOTE:
DO NOT SCALE DRAWINGS
VERIFY ALL EXISTING CONDITIONS
ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT



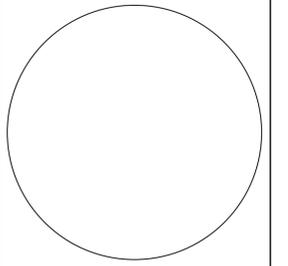
2 REFERENCE PHOTO

444 6TH AVENUE

444 6TH AVENUE
NEW YORK, NEW YORK

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TITLE:
FRONT
ELEVATIONS

CURRENT AS OF:
4/17/2015

SCALE:
AS NOTED

DRAWING #:
A-004.00

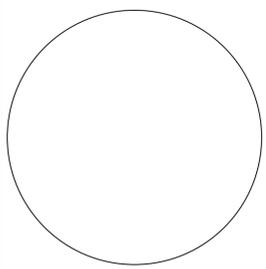
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08 OF 09

444 6TH AVENUE

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NEW YORK, NEW YORK

NOTES

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TITLE:
REAR
ELEVATIONS

CURRENT AS OF:
4/17/2015

SCALE:
AS NOTED

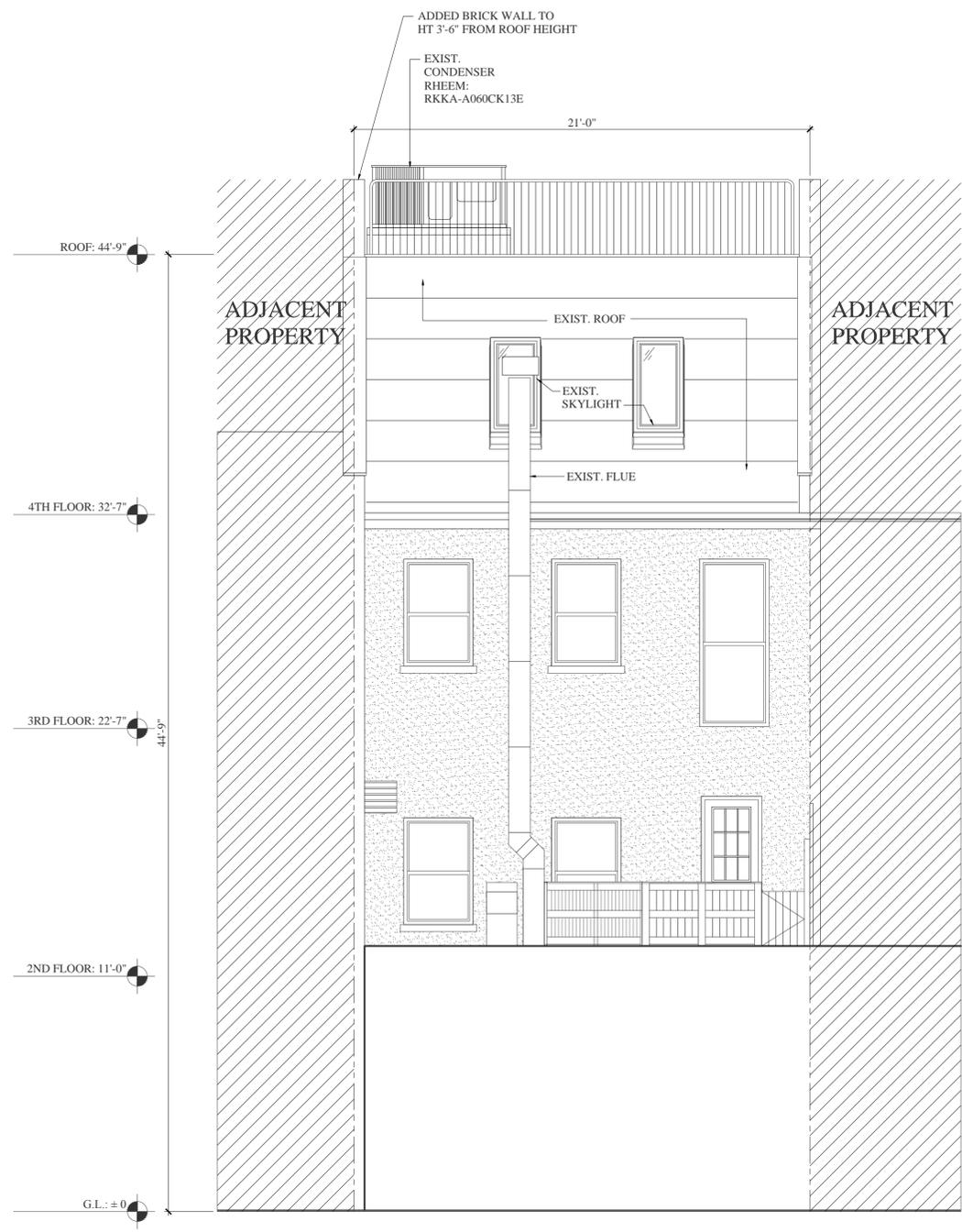
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09 OF 09

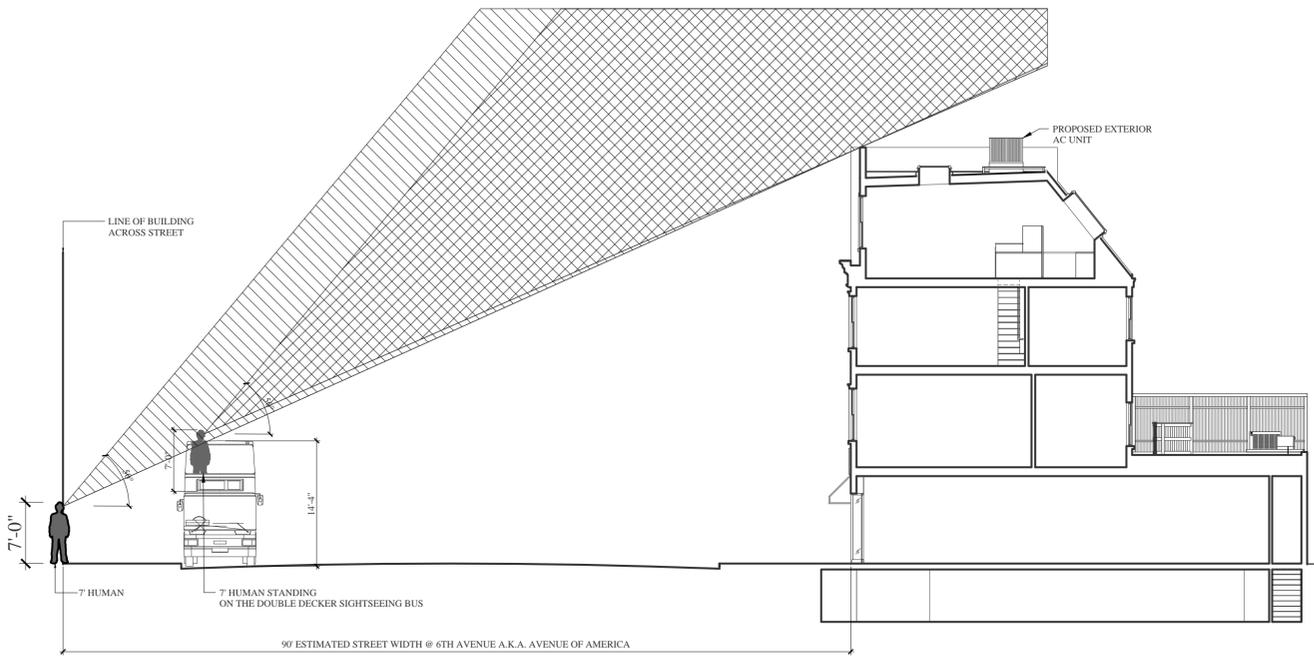
NOTE:
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VERIFY ALL EXISTING CONDITIONS
ALL DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT



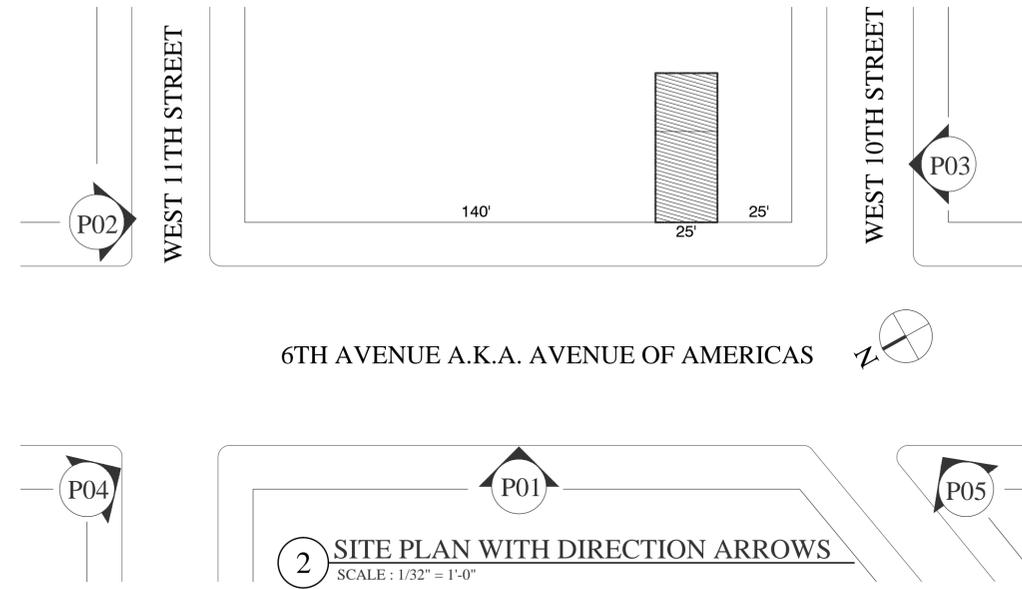
2 REFERENCE PHOTOS



1 EXIST. REAR ELEVATION
SCALE: 1/4" = 1'-0"



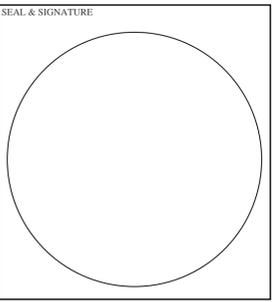
1 VIEW DIAGRAM AFTER PARAPET BUILD UP
SCALE : 3/32" = 1'-0"



2 SITE PLAN WITH DIRECTION ARROWS
SCALE : 1/32" = 1'-0"

444 6TH AVENUE
 444 6TH AVENUE
 NEW YORK, NEW YORK

NOTES



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TITLE:	VIEW DIAGRAM, SITE PLAN WITH DIRECTION ARROWS & PHOTOS
CURRENT AS OF:	2/2/2015
SCALE:	AS NOTED
DRAWING #:	A-001.00
SHEET #:	11 OF 12



P01 FACING DIRECTLY @ FRONT FAÇADE
FROM FURTHEST AWAY POSSIBLE



P02 FROM 11TH STREET



P03 FROM 10TH STREET



P06 VIEW OF BUILDING
AFTER FACADE BUILD UP



P04 FROM FURTHEST CORNER OF
11TH STREET & 6TH AVENUE



P05 FROM FURTHEST CORNER OF
10TH STREET & 6TH AVENUE

NOTE:
 PHOTO WAS TAKEN
 BY A PERSON HEIGHT 5'-9"
 @ EYE LEVEL LOOKING
 TOWARDS THE AC UNIT



1 EXISTING BUILDING



2 AFTER FACADE BUILD UP

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SEAL & SIGNATURE

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TITLE:
 COMPARISON
 PHOTOS

CURRENT AS OF:
 4/7/2015

SCALE:
 AS NOTED

DRAWING #:
 A-007.00

SHEET #:
 12 OF 12