

01 proposed site section
1/8"=1'0"



front exterior view



rear exterior view



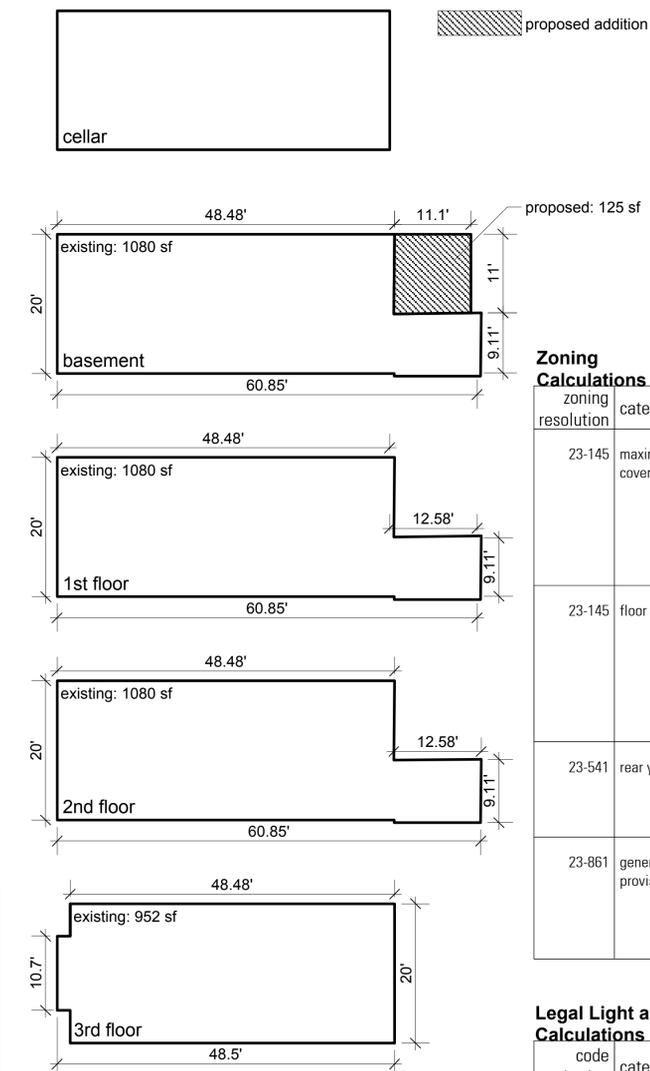
rear exterior view from 1st Ave.



rear exterior view from 1st Ave.

Zoning

Floor Areas



floor level	existing	addition	total
basement	1080 SF	125 SF	1205 SF
1st floor	1080 SF	0	1080 SF
2nd floor	1080 SF	0	1080 SF
3rd floor	952 SF	0	952 SF
total	4192 SF	125 SF	4317 SF

Site Info

Address: 188 8th Ave
 Borough: Brooklyn
 Block: 1074
 Lot: 41
 Zoning: R7B
 Map: 16d
 Landmarks: yes
 Commercial Overlay: none
 Lot Type: Interior Lot
 Lot Size: 1,857 S.F.
 Existing Lot Coverage: 1,080 S.F.
 Proposed Lot Coverage: 1,222 S.F.
 Existing Total Floor Area: 4,192 S.F.
 Proposed Enlargement: 125 S.F.
 Proposed Total Floor Area: 4,317 S.F.

Zoning Calculations

zoning resolution	category	description
23-145	maximum lot coverage	maximum lot coverage in zone R7B = .65 current lot size = 1857.4 sq. ft. exist footprint = 1081 sq. ft. proposed floor area = 125 sq. ft. total proposed floor coverage = 1206 sq. ft. total proposed lot coverage = 0.649 0.649 < 0.65 (max lot coverage allowed) --complies
23-145	floor area ratio	maximum FAR in zone R7B = 3 max FA = 5572.2 sq. ft. exist FA = 4192 sq. ft. floor area of proposed enlargement = 125 sq. ft. total floor area proposed = 4317 < 5572.2 sq. ft. --complies total FAR proposed = 2.32 < 3.0 (max FAR allowed) --complies
23-541	rear yard	Not required as per ZR23-541, "R6 R7 R8 R9 R10. In the districts indicated, no rear yard shall be required within 100 feet of the point of intersection of two street lines intersecting at an angle of 135 degrees or less. --complies
23-861	general provisions	Window Separation Requirements from Lot Line: 30' at rear as per ZR23-861, "In all districts, as indicated...the minimum distance between a legally required window and (c) a side lot line, or vertical projection thereof shall be 30 feet..." skylight proposed --complies

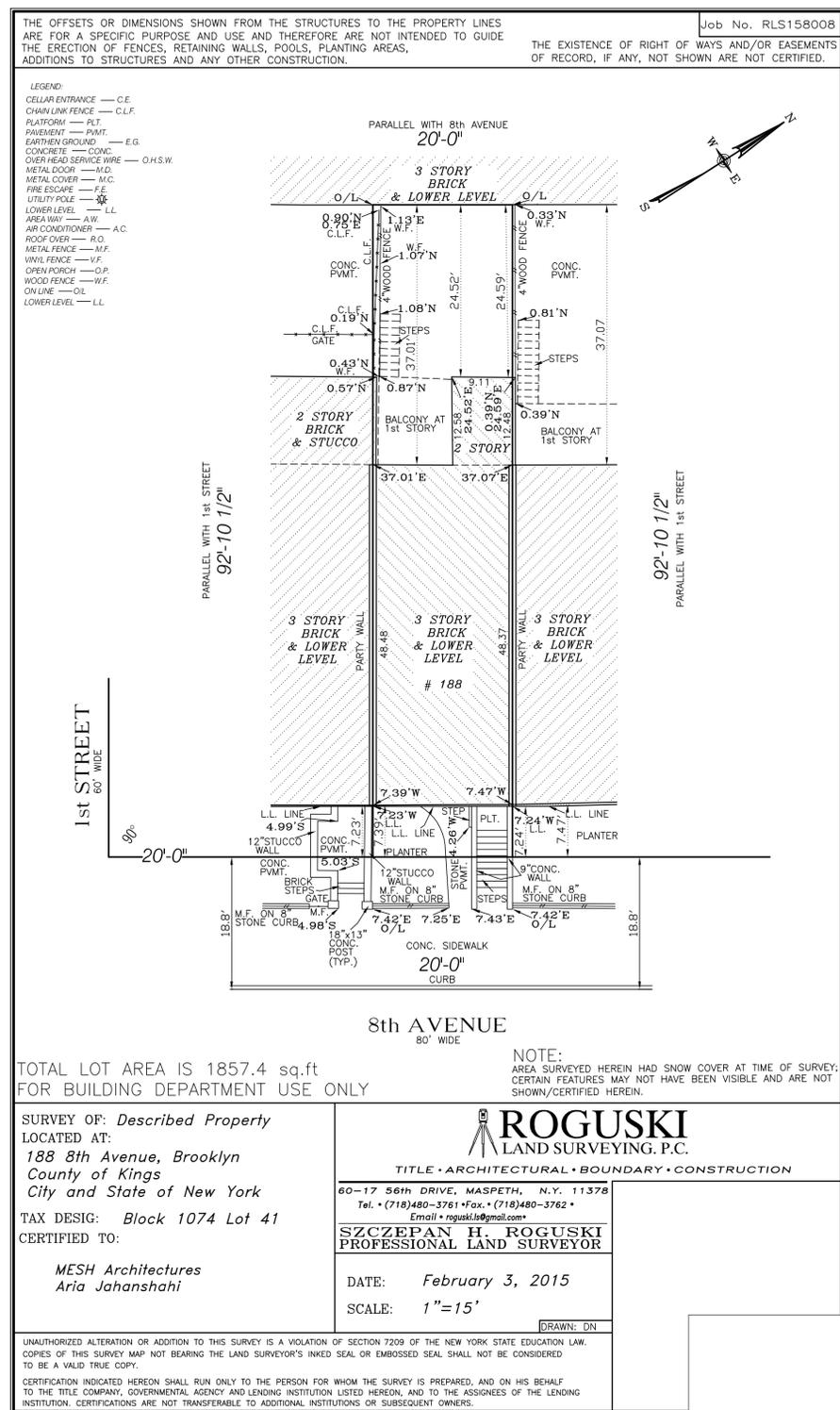
Legal Light and Air Calculations

code citation	category	description
1203.4.1.2.	minimum opening	The minimum openable area to the outdoors shall be 5 percent of the floor area of the habitable space being ventilated. Every opening providing required natural ventilation shall be at least 12 square feet (1.1 m2) of glazed area, providing a minimum of 6 square feet (0.56 m2) of openable area. skylight opening proposed: 14 sq. ft. of operable glazing --complies

Roof Decking Calculations

exist total roof area: 1,058 sq. ft.
 exist non-combustible roof area: 1,058 sq. ft.
 proposed new roof area: 138 sq. ft.
 new total roof area: 1196 sq. ft.
 proposed combustible roof area: 97 sq. ft.
 as per code,
 combustible roof area must be < 20% of total roof area:
 97 sq. ft. (combustible roof area) / 1196 sq. ft. (total roof area) = 0.08*100 = 8%
--complies

Survey



TOTAL LOT AREA IS 1857.4 sq.ft.
 FOR BUILDING DEPARTMENT USE ONLY

SURVEY OF: *Described Property*
 LOCATED AT:
 188 8th Avenue, Brooklyn
 County of Kings
 City and State of New York
 TAX DESIG: Block 1074 Lot 41
 CERTIFIED TO:

ROGUSKI
 LAND SURVEYING P.C.
 TITLE ARCHITECTURAL BOUNDARY CONSTRUCTION

60-17 56th DRIVE, MASPETH, N.Y. 11378
 Tel. • (718)480-3761 • Fax • (718)480-3762 •
 Email • roguski@roguski.com

SZCZEPAN H. ROGUSKI
 PROFESSIONAL LAND SURVEYOR
 DATE: February 3, 2015
 SCALE: 1"=15'

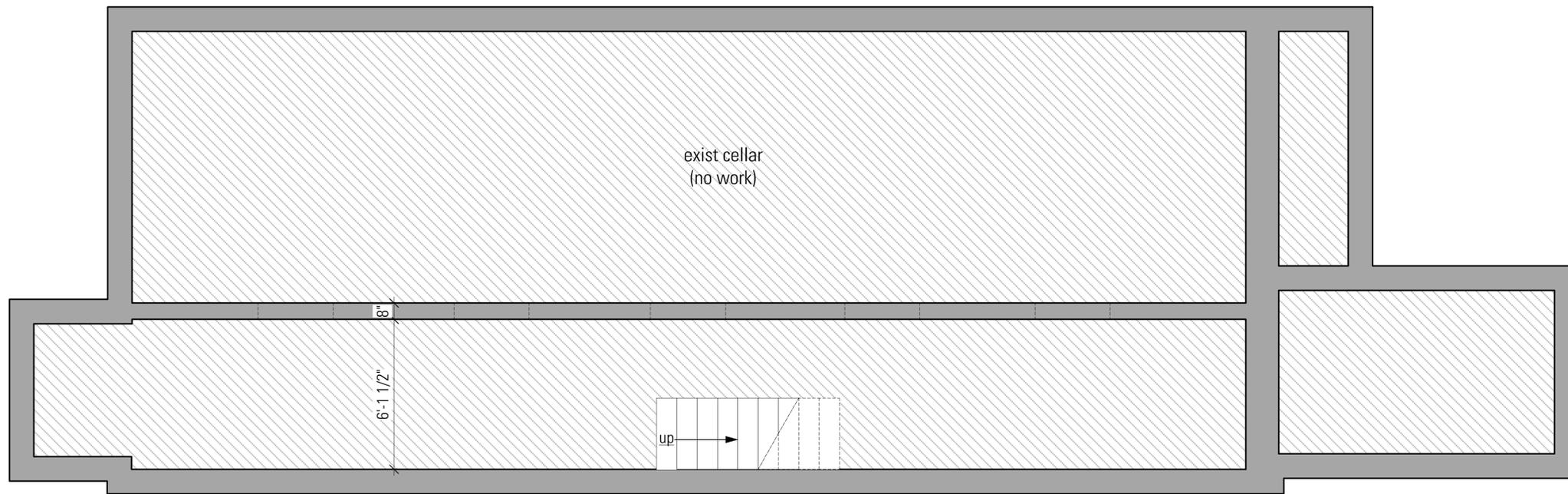
UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.
 CERTIFICATION INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

Plot Plan



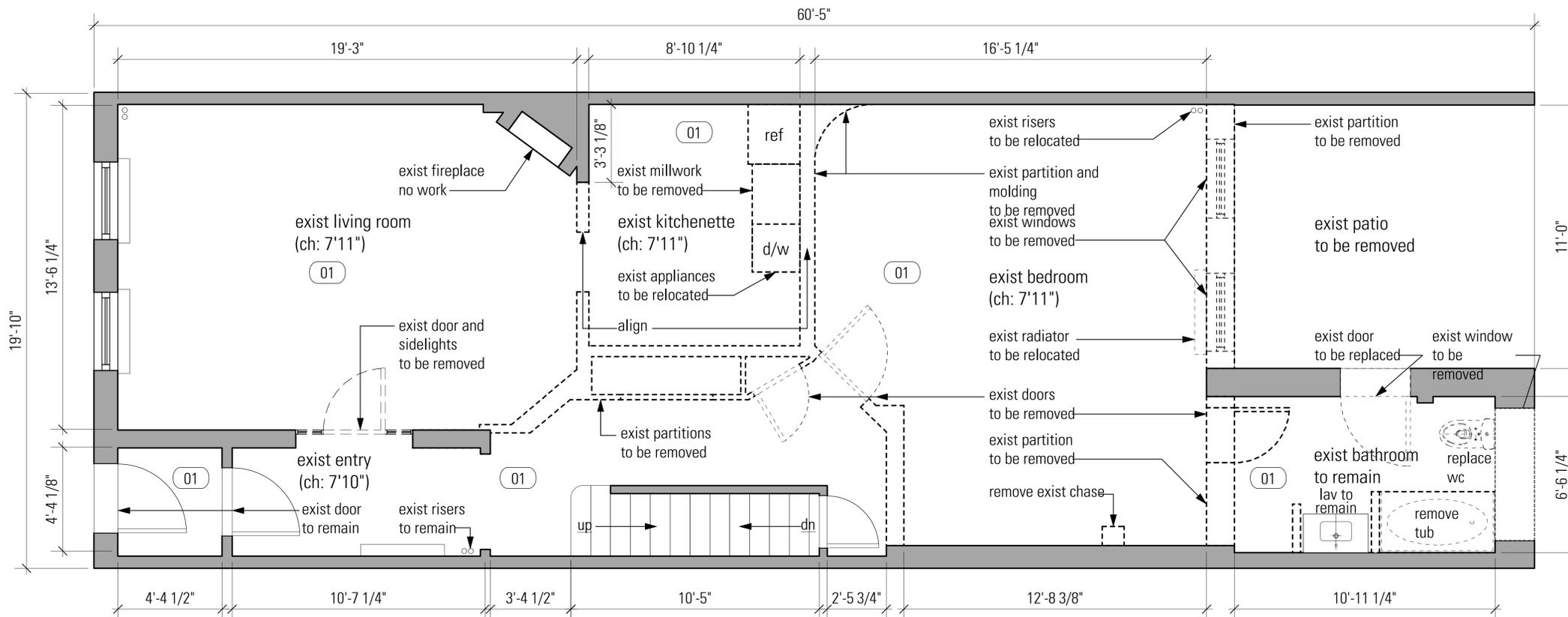
SITE INFORMATION
 ADDRESS: 188 8th Ave
 BOROUGH: Brooklyn
 BLOCK: 1074
 LOT: 41
 ZONING: R7B
 MAP: 16d
 LANDMARKS: Yes
 COMMERCIAL OVERLAY: NONE





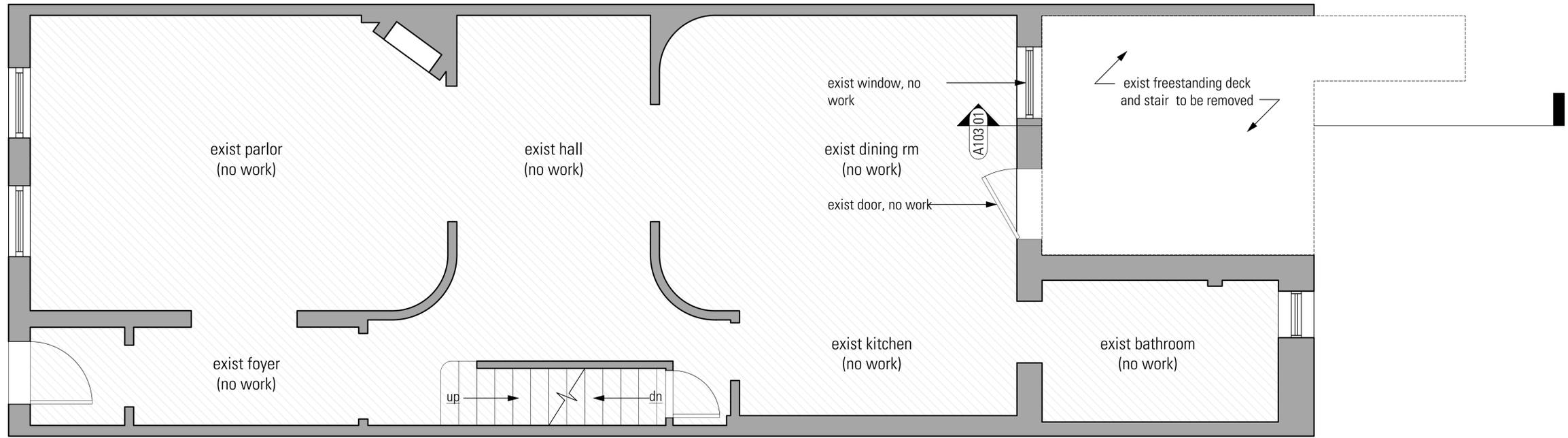
01 cellar demolition plan

3/8" = 1'0"

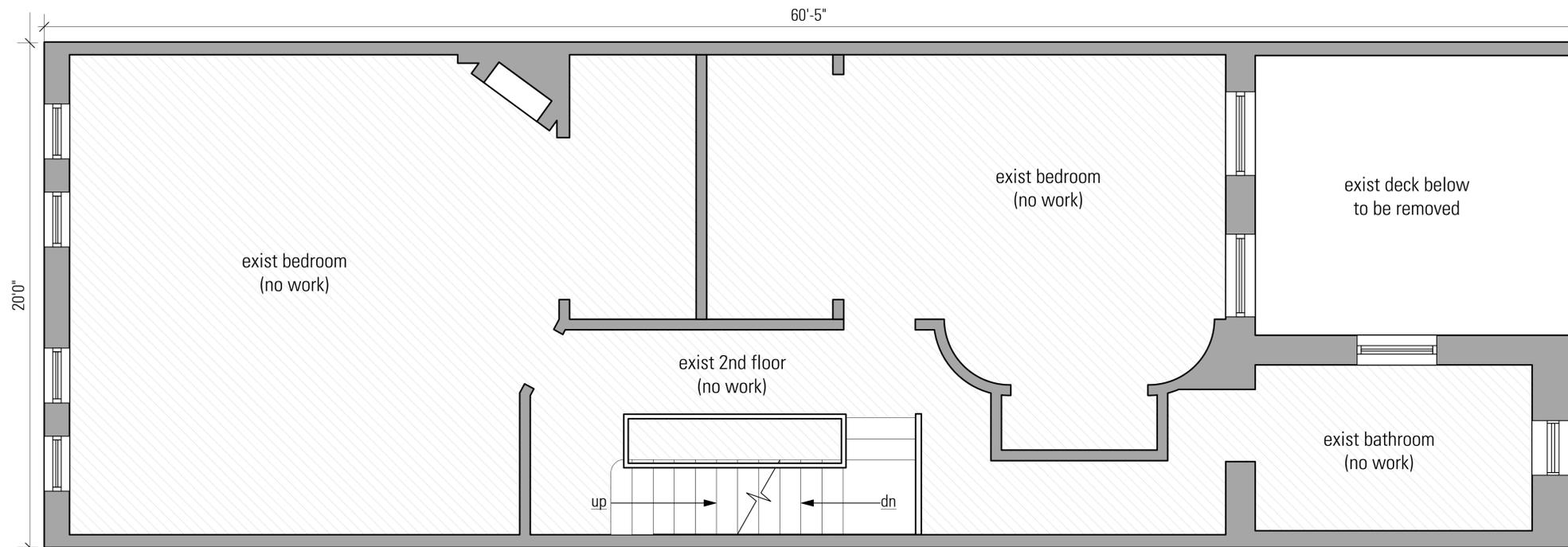


02 basement demolition plan

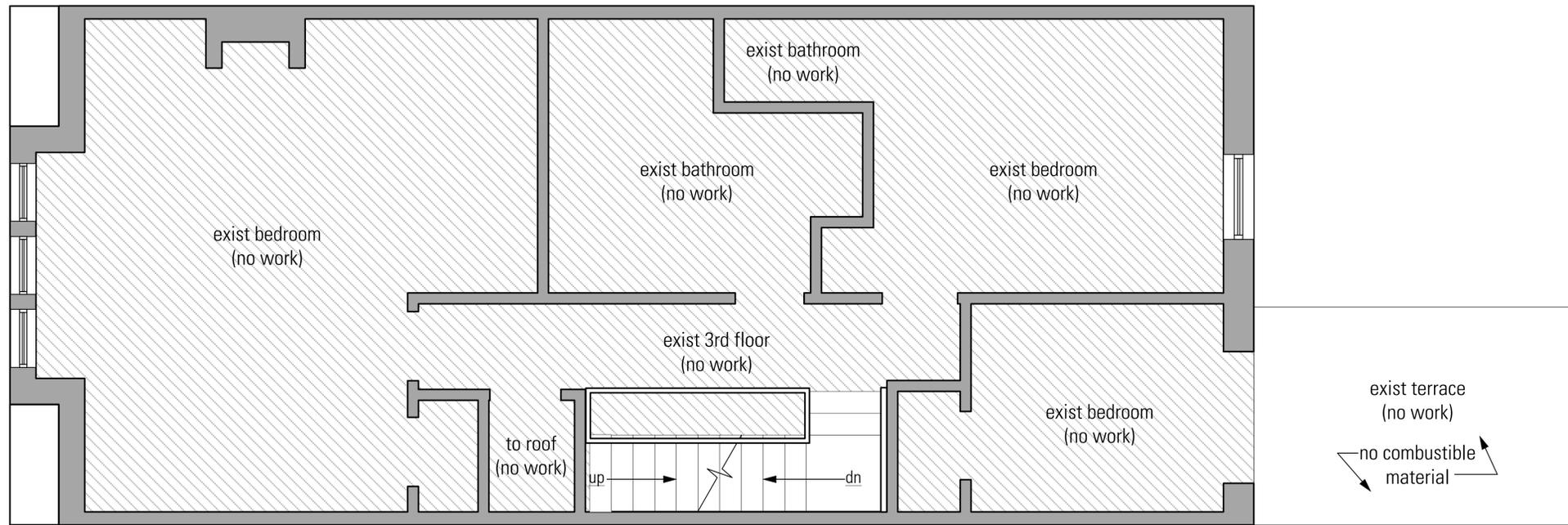
3/8" = 1'0"



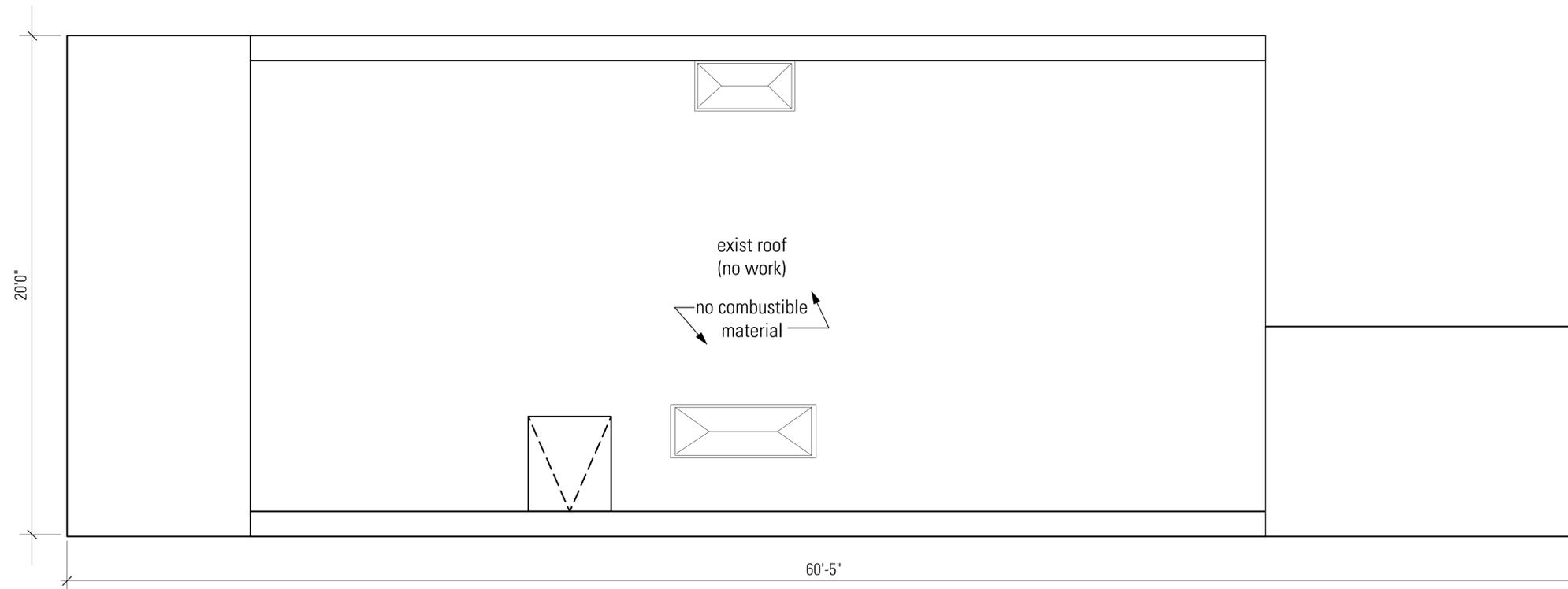
01 1st floor demolition plan
 3/8" = 1'0"



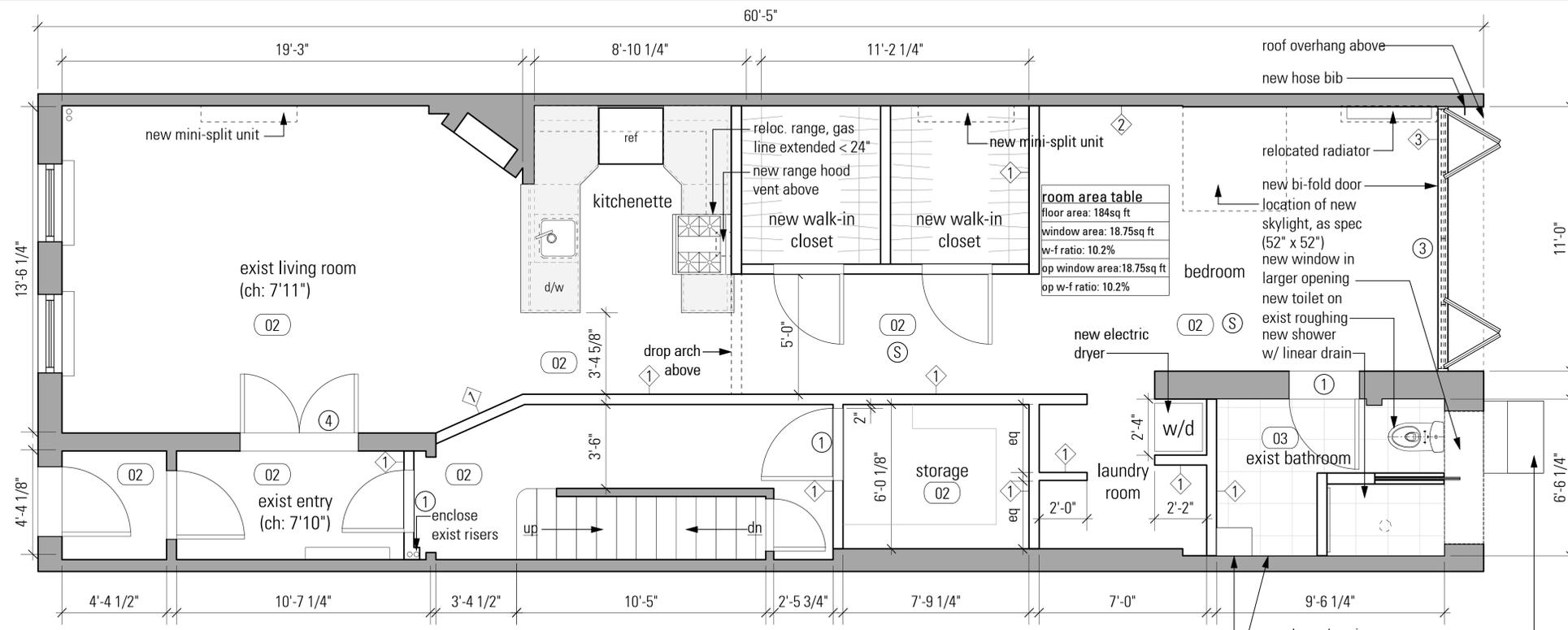
02 2nd floor demolition plan
 1/4" = 1'0"
 3/8" = 1'0"



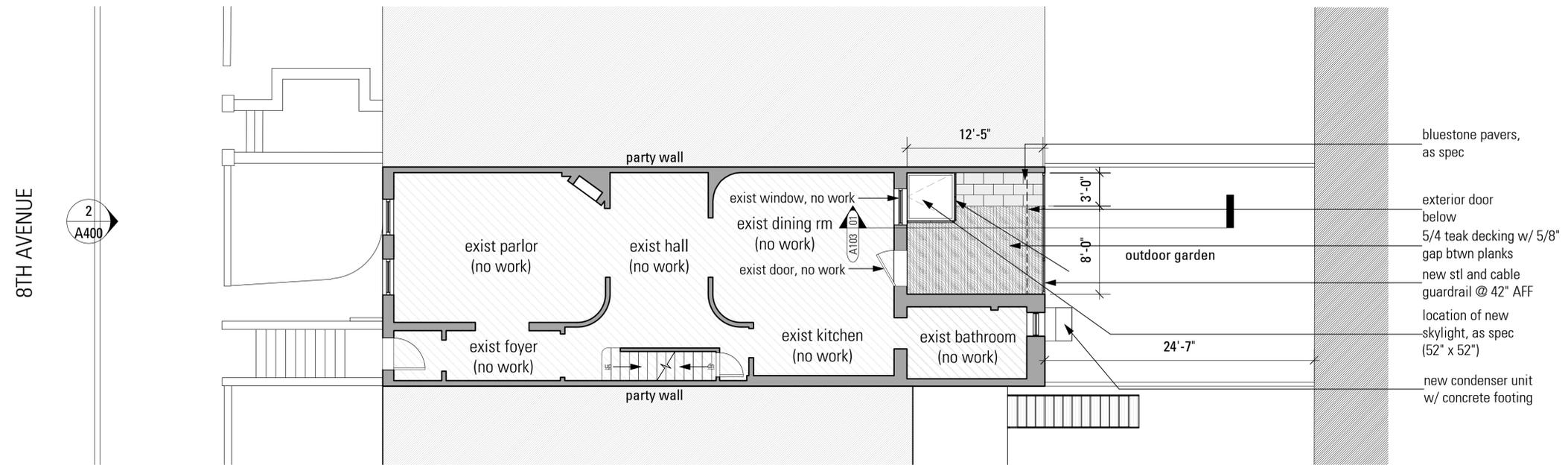
01 3rd floor demolition plan
 3/8" = 1'0"



01 roof demolition plan
 3/8" = 1'0"

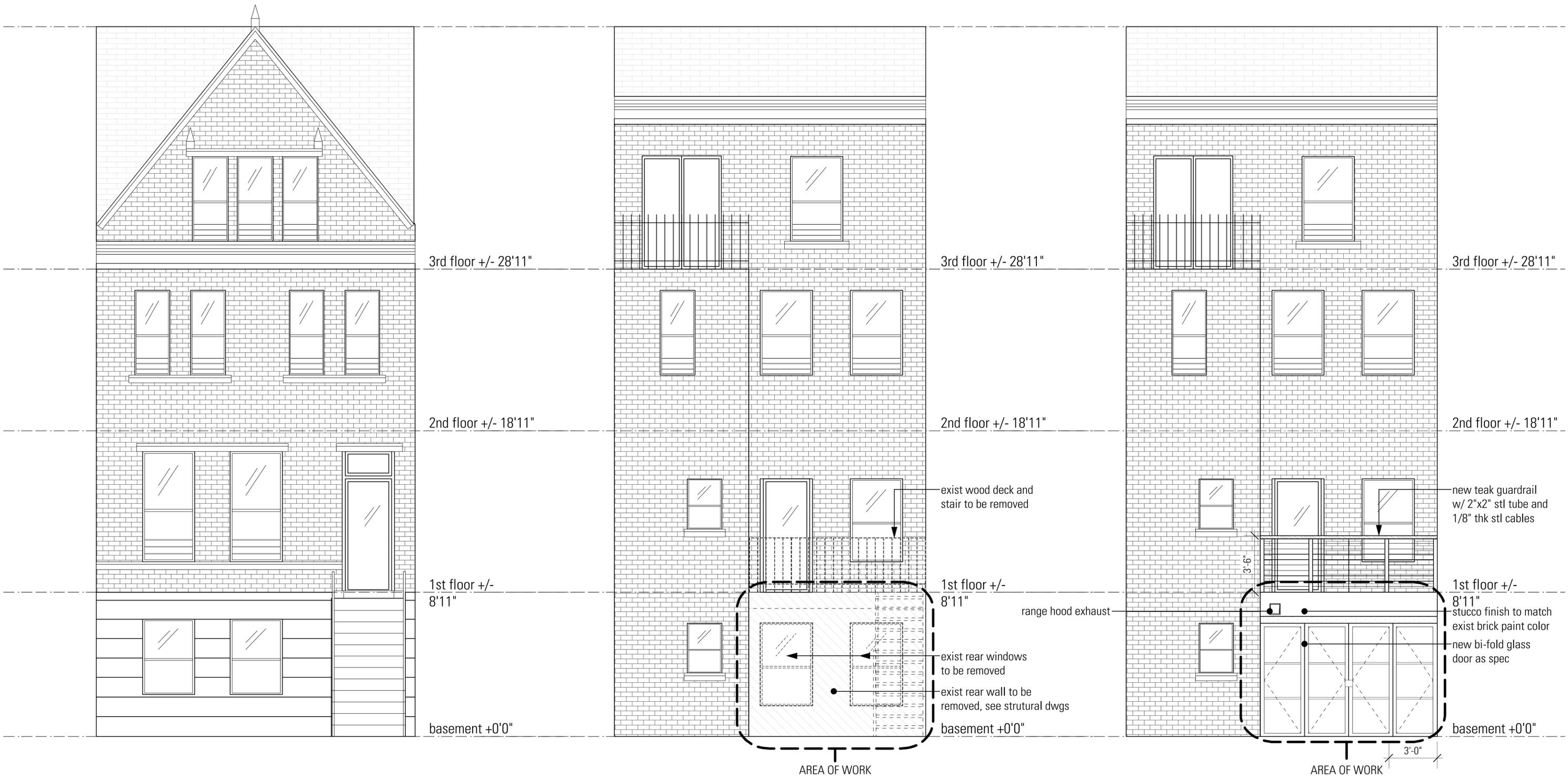


01 basement construction plan
3/8" = 1'0"



02 1st floor construction plan w/ site
3/16" = 1'0"

- bluestone pavers, as spec
- exterior door below
- 5/4 teak decking w/ 5/8" gap btwn planks
- new stl and cable guardrail @ 42" AFF
- location of new skylight, as spec (52" x 52")
- new condenser unit w/ concrete footing



01 existing front elevation (no work)
3/8"=1'0"

02 existing rear elevation
3/8"=1'0"

03 proposed rear elevation
3/8"=1'0"

