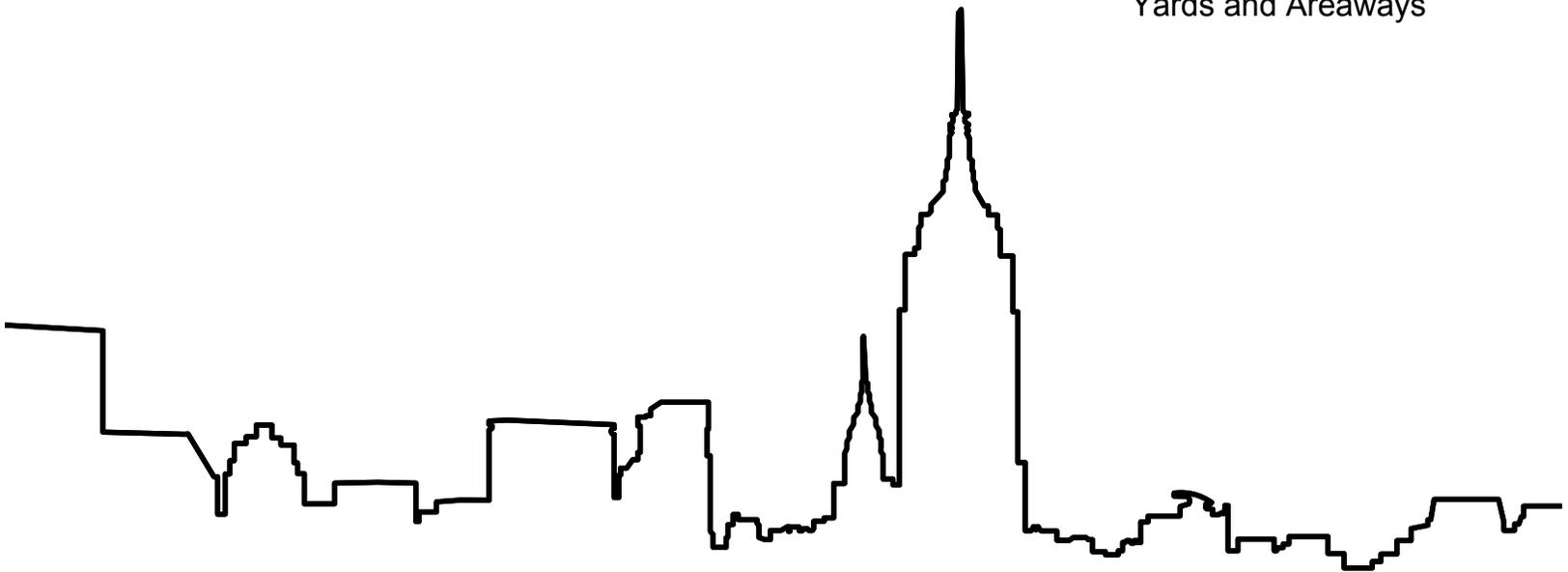


# SITE WORK

## Application Guidelines

Sidewalks  
Sidewalk Cafés  
Yards and Areaways



**NYC** Landmarks Preservation  
Commission

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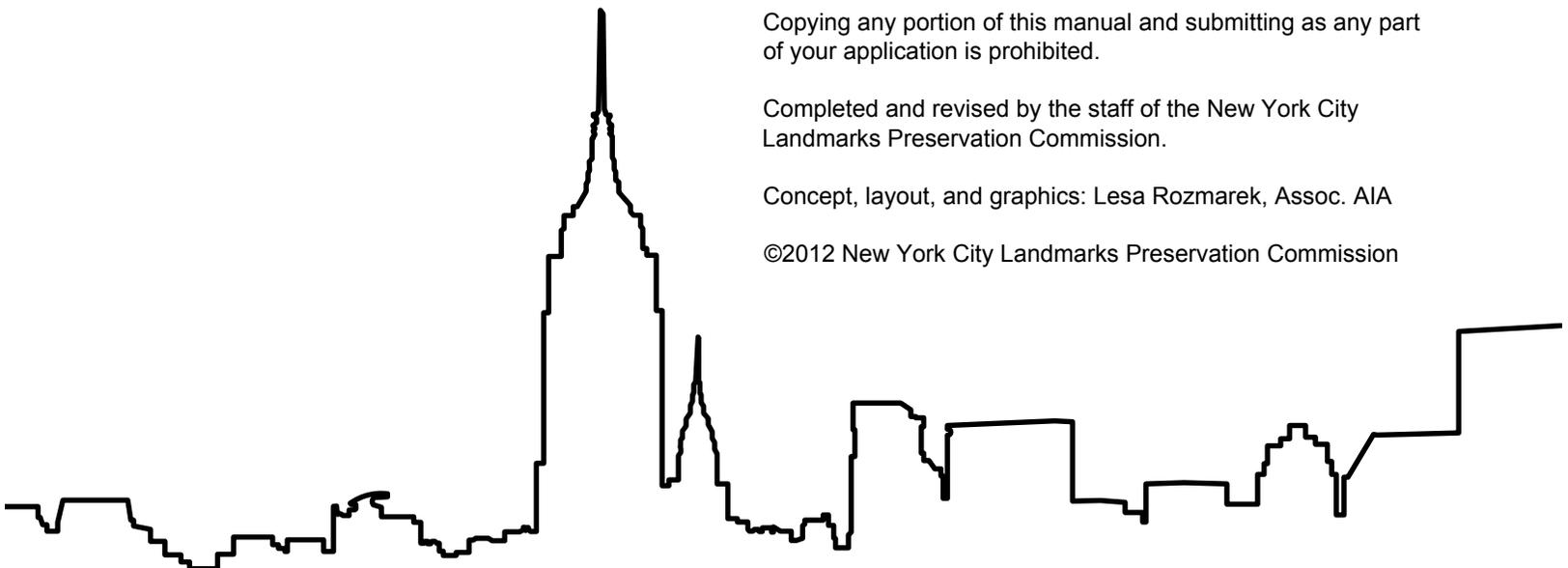
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Copying any portion of this manual and submitting as any part of your application is prohibited.

Completed and revised by the staff of the New York City Landmarks Preservation Commission.

Concept, layout, and graphics: Lesa Rozmarek, Assoc. AIA

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# Sidewalks

Sidewalks, yards and areaways are among the defining characteristics of a New York City landmark or historic district.

An LPC staff preservationist may issue a permit to repair or alter a sidewalk, including the installation of sidewalk cafés, or to a yard or areaway only if the alterations do not involve the removal of historic fabric. Projects that call for the removal of historic fabric, the addition of a curb cut, or the installation of new paving or fencing where none existed may require a review by the full Commission.

## Repairing or Replacing Sidewalks

Many of the sidewalks in New York City's historic districts are paved with such historic materials as bluestone, granite flags and curbs, cast iron and glass vault light covers, cobblestone and other distinctive elements. It is important, therefore, to preserve them, and replace them in-kind only when necessary. Approval for repairing and replacing sidewalks is also required from the Department of Transportation.

### Design Guidelines for Concrete Sidewalks

Please consider the following guidelines when submitting a proposal to repair a concrete sidewalk:

- Replace concrete with concrete, or restore the historic material if documentation indicates the sidewalk was another material
- Match the color of the new concrete to the predominant paving on the sidewalk by using tints or pigments
- Score the new concrete to align with the adjacent sidewalks
- Retain historic stone curbs whenever possible

### Design Guidelines for Bluestone or Granite Sidewalks

Please consider the following guidelines when submitting a proposal to reset or replace bluestone or granite:

- Carefully remove existing granite or bluestone flags so they can be reinstalled
- Store removed flags in a dry, secure area to avoid additional damage
- Replace irreparable flags with new granite or bluestone flags that closely match the coloring, dimension and pattern of the existing flags
- Stone must be replaced in-kind and flags should be at least 2" in thickness

There are instances when the full Commission may approve the replacement of deteriorated stone with tinted concrete to match the original. If you plan to submit such a proposal, please consider the following guidelines:

- Limit the removal of historic paving to the portions of the sidewalk that are beyond repair
- Reusable pavers should be retained and reset on a level, non-cement base with hand-tight joints
- Street tree pit replacement pavers must conform to the city's Parks and Recreation Department guidelines and may not exceed the area of the tree pit
- Replacement pavers should be tinted and scored in a manner that recalls the historic paving material



One defining characteristic of this neighborhood is the stone sidewalk.

## Design Guidelines for Cobblestones

Please consider the following guidelines when submitting a proposal to reset or replace cobblestones:

- Cobblestone pavers found underneath an existing asphalt street may be removed to perform repair work but must be reinstalled and may be recovered by new asphalt
- Replacement cobblestone pavers should match the color, texture and dimension of the historic pavers
- Distinctive features within the cobblestone paving, such as trolley tracks, should be retained and/or reset



Cobblestone pavers in Brooklyn

## Design Guidelines for Cast Iron and Glass Sidewalk Vault Covers

Please consider the following guidelines when submitting a proposal for sidewalk vault work:

- Existing vault light covers should be repaired, and either uncovered or covered over in a water tight method with black-painted, diamond plate steel
- Vault light covers that are beyond repair may be replaced with covers that match the material, dimensions and details of the existing ones
- If historic documentation indicates a vault was originally covered with vault lights, your proposal should consider installing black-painted diamond plate steel over the vault, or a new vault light cover

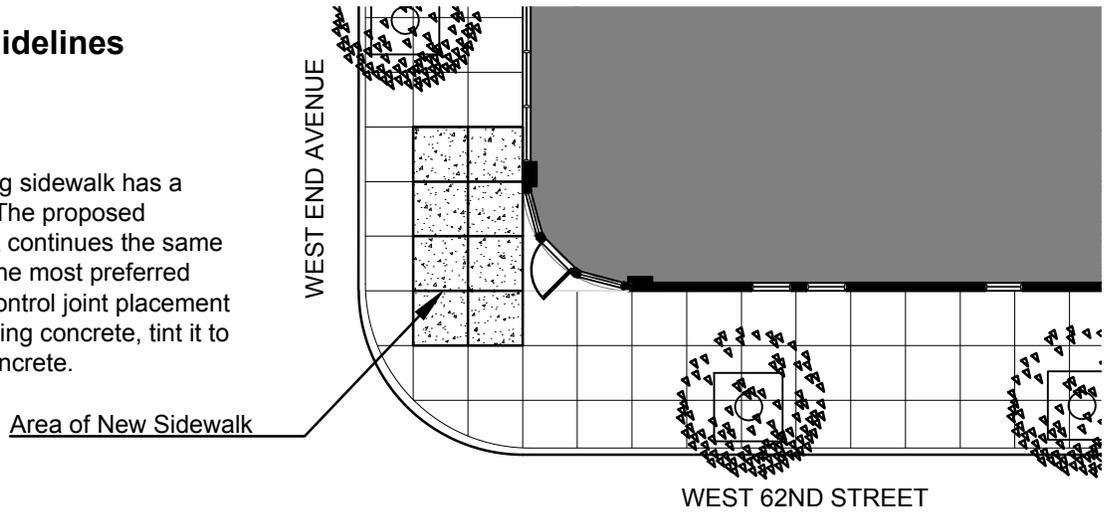


Glass sidewalk vault covers are a defining feature in this neighborhood. In the image on the right, vault covers are carefully repaired to maintain their integrity.

# Control Joint Guidelines

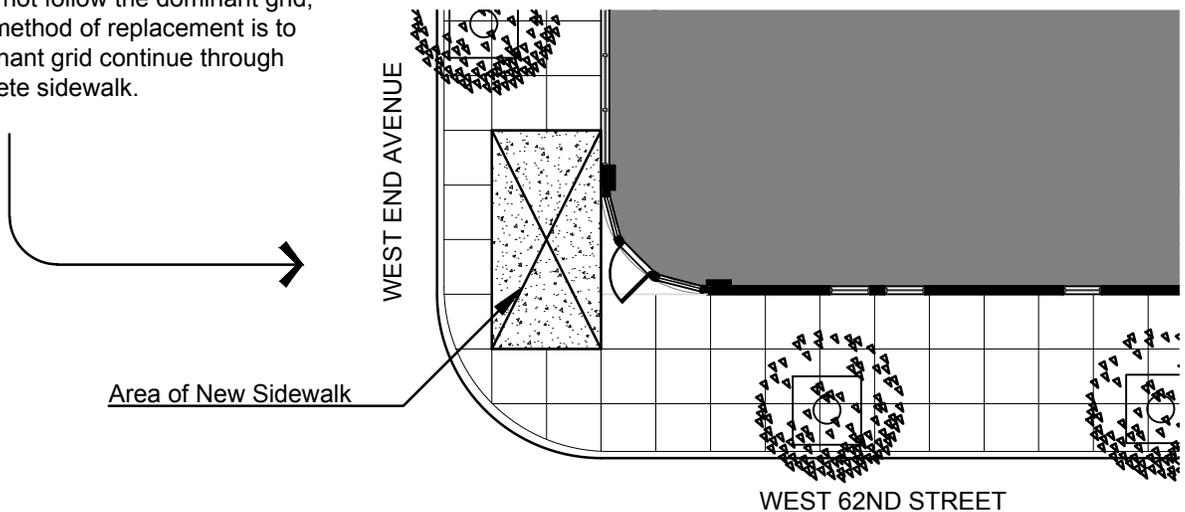
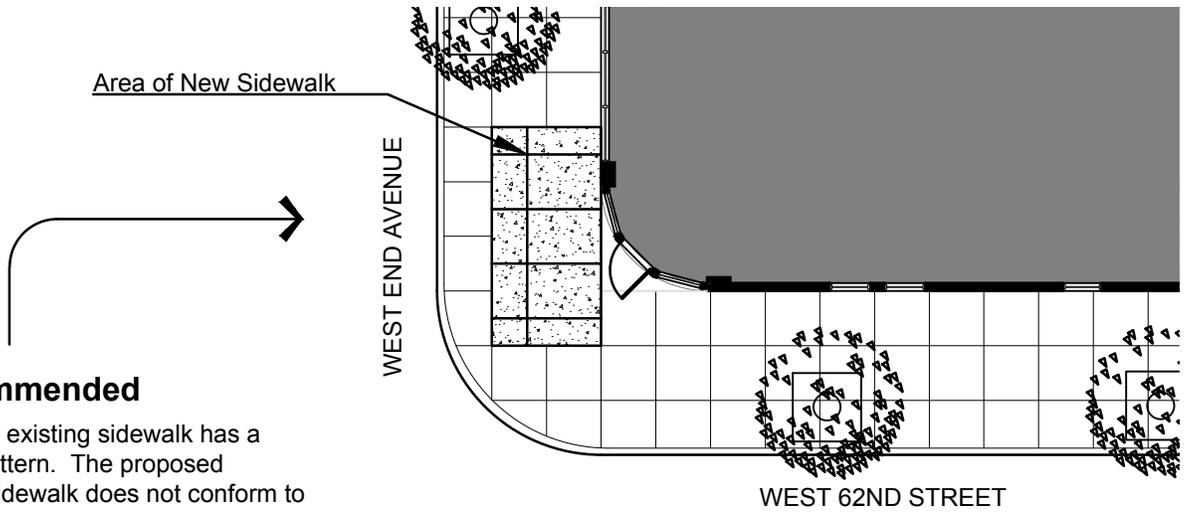
## Recommended

Notice that the existing sidewalk has a regular grid pattern. The proposed replacement sidewalk continues the same grid pattern. This is the most preferred method of concrete control joint placement or stone setting. If using concrete, tint it to blend with existing concrete.



## Not Recommended

Notice that the existing sidewalk has a regular grid pattern. The proposed replacement sidewalk does not conform to the grid already present. Even if the slab of concrete that is to be removed and replaced does not follow the dominant grid, the preferred method of replacement is to have the dominant grid continue through the new concrete sidewalk.



# Installation of New Concrete Sidewalks

## Application Guidelines and Specifications

Below is a list of approved concrete tint specifications. If you are proposing concrete replacement you will need to provide concrete tint specifications as a part of your application.

### Concrete Tint Specifications

#### GENERAL:

Curing agents should be colored to match concrete.  
Colors may vary due to slump, water content and aggregates.  
Concrete should be uniform in slump and lowest slump possible.

PLEASE NOTE: These are approximations. For exact color matches, other tints and/or mixed tints can be tested and used pending approval of sample.

#### TO SIMULATE THE COLOR OF LIGHT TO MEDIUM GREY GRANITE:

DAVIS Color No. 884  
1 lb. per 100 lbs. Light Grey Portland Cement and sand  
or  
LANSCO Color No. 437 "Strong Black"  
2.5 lbs. per 94 lbs. Light Grey Portland Cement and 3 parts sand  
or  
SCOFIELD Chromic: Admixture "Cool Black" No. 1  
1 five-sack-mix bag per 5 ninety-four-lb. bags Medium Grey Portland Cement and sand  
or  
Other equal sample must be provided for approval.

#### TO SIMULATE THE COLOR OF DARK GREY BLUESTONE:

DAVIS Color No. 884  
3 lbs. per 100 lbs. Light Grey Portland Cement and sand  
(Phone Frank D. Davis Company at 800-346-9433.)  
or  
LANSCO Color No. 437 "Strong Black"  
5 lbs. per 94 lbs. Light Grey Portland Cement and 3 parts sand  
(Phone Landers-Segal Color Company at 201-779-5001.)  
or  
SCOFIELD Chromic Admixture, "Cool Black" No. 4  
1 five-sack-mix bag per 5 ninety-four-lb. bags Medium Grey Portland Cement and sand or  
SCOFIELD "Landmarks Grey" K-157-4  
(Phone Michael De Candia at L.M. Scofield Company at 201-342-1380)  
or  
Other equal sample must be provided for approval.

# Resetting and Installation of Stone Sidewalks

## Bluestone Specifications

### BLUESTONE

Minimum 2" thick, new or dressed and reset bluestone flags. New flags must be bluestone. For best results, all bluestone should be solid, reed-free stone, free from any defects which impair strength, durability, or appearance. Before proceeding with any work under this contract, the contractor must submit for approval two or more sets of samples of the stone specified, which are typical of the extremes of color, texture, and quality of stock and finish.

### BASE

Existing base of bluestone flags and new base in area presently paved with concrete that is to be replaced with bluestone should be leveled to appropriate grade, excavating where necessary to provide a minimum of 4" base, including underneath any pedestrian ramps. New base material should be limestone or trap rock screenings, consisting of hard, durable, sharp-edged fragments, free from any deleterious matter.

### JOINTS AND PATCHING

Joints are to be hand tight. After setting flags, the setting bed mixture (one part Portland cement and seven parts clean sand) should be brushed into the joints. Irregularities in flag size of old flags or adjacent curbs or walls may result in some larger joints. These joints should be pointed with mortar to match the bluestone color.

In order to salvage larger, historic flags that have spalled, small amounts of cementitious patching may be undertaken, as directed by the site supervisor only, using a mixture incorporating bluestone dust to match the existing stone. If reset historic flags have an irregular surface that could create a trip hazard at the joint, the joint may be ground down to produce a level surface, only as directed by the site supervisor. Every effort should be made to reset the flag so that grinding is not necessary.

## Application Checklist for Sidewalk Installation and Repair

Below is a list of required descriptive materials for your sidewalk installation/sidewalk repair proposal. These materials will help the Commission evaluate the impact of your proposal on the associated landmark site. Examples of some of the required materials are available in the Sample Application Materials section of this chapter.

- Permit application signed by the building owner
- Color photographs of existing adjacent sidewalks in the historic district. Please refer to Page S1 of the Sample Application Site Work chapter for instructions for photographing sidewalks.
- Two sets of plan drawings: one for existing sidewalk dimensions and one for the proposed dimensions of the replacement sidewalk
- A plan drawing that shows the following:
  1. The dimensions of the existing sidewalk and replacement sidewalk
  2. The dimensions of the existing flags and replacement flags
  3. The dimensions of the adjacent sidewalk flags
  4. The dimensions of the adjacent expansion or control joints (commonly known as cracks)
  5. The dimensions of the proposed expansion or control joints (commonly known as cracks)
  6. The dimension of the curb and whether it is being retained or replaced
  7. The concrete mix/stone and/or setting specifications of the replacement sidewalk. Please refer to Page S1 of the Sample Application Materials section of this chapter for instructions for photographing sidewalks.
- Sidewalk section drawing, if replacing stone or vault covers
- Color photographs of vault conditions beneath the sidewalk if project involves vault light covers
- If you have met all of the requirements and staff has confirmed you are able to receive a staff-level approval, you must submit two sets of filings drawings signed and sealed by a licensed architect or engineer if the proposed work requires a Department of Transportation permit before the LPC approval may be issued

**An LPC staff preservationist will contact you if additional materials are required. Please note that if you submit a complete application that includes the correct materials, meets LPC's rules and the associated landmark site has no outstanding LPC violations, your permit will be processed expeditiously.**

# Sidewalk Cafés in Historic Districts

## Application Guidelines

You must include your LPC permit for a sidewalk café with your Department of Consumer Affairs permit application.

### Sample Sidewalk Café Site Plan

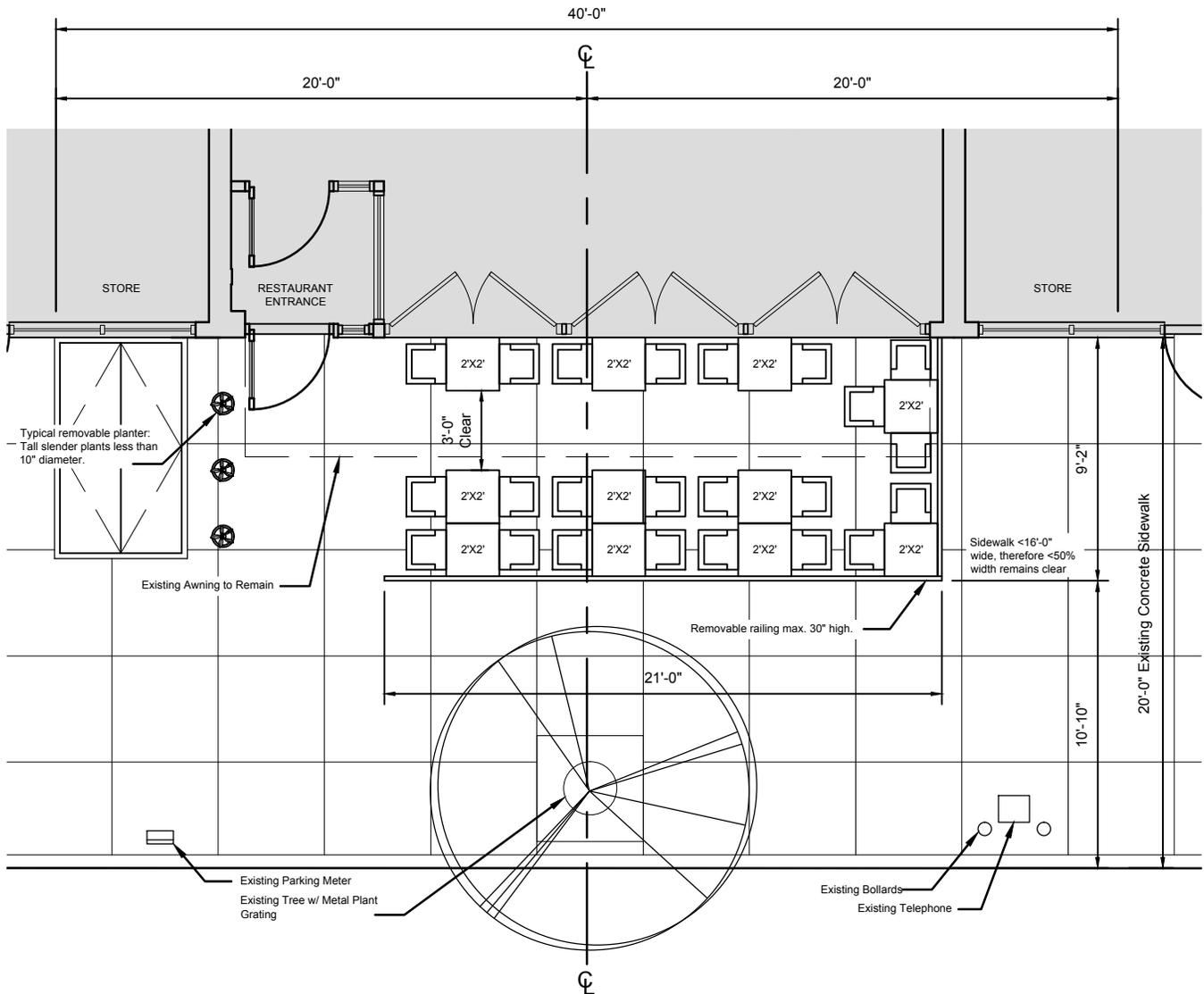
All permanent items found on the surrounding sidewalk within 20 feet in either direction from the café must be displayed and labeled on the plans.

The design of the café may not include permanent items; items must be moveable, such as free-standing tables and chairs, rope and stanchion, and potted plants.

The requirements for this drawing can be found on the Department of Consumer Affairs website at the following address:  
[http://www.nyc.gov/html/dca/downloads/pdf/swc\\_license\\_app\\_materials.pdf](http://www.nyc.gov/html/dca/downloads/pdf/swc_license_app_materials.pdf)



A sidewalk cafe can bring life to the street and increase restaurant seating.



**PLAN VIEW**  
 Scale: Not To Scale

## SITE WORK

### Sidewalk Cafés

## Application Checklist for Sidewalk Cafés in Historic Districts

Below is a list of required descriptive materials for your sidewalk café proposal. These materials will help the Commission evaluate the impact of your proposal on the associated landmark site.

- Permit application signed by the building owner
- Color photographs of the base of the building, including the storefront and sidewalk in front of the building
- Dimensioned site plan, including the location of all tables and chairs
- If you have met all of the requirements and staff has confirmed you are able to receive a staff-level approval, you must submit two sets of filings drawings signed and sealed by a licensed architect or engineer if the proposed work requires a Department of Transportation permit before the LPC approval may be issued

**An LPC staff preservationist will contact you if additional materials are required. Please note that if you submit a complete application that includes the correct materials, meets LPC's rules and the associated landmark site has no outstanding LPC violations, your permit will be processed expeditiously.**

## Yards and Areaways

### Application Guidelines

Yards and areaways are incorporated into the private open space in front of and on the side of rowhouses and semi-detached rowhouses, and in the front, side and rear of free-standing detached houses. In addition to front and side yards, the open space may include driveways and walkways of rowhouses, semi-detached rowhouses and detached houses.

Yard or areaway elements such as original paving materials, yard walls, fences, ornamental iron or stonework and historic lighting fixtures should be retained wherever possible. Changes to any of these elements should be made according to the following recommendations to ensure that the character of the yard or areaway is maintained.

### No Permits Required

Permits are not required for:

- Maintaining lawns or shrubs
- Planting new lawns or shrubs in existing unpaved areas
- Repairing or repainting (the same color) cellar access hatch covers
- Placing and planting pots, planter boxes, or window boxes

### When LPC Approvals are Required

Permits are required for:

- Proposed changes to hardscape features such as pathways, paving, light fixtures, fences, railings, garbage enclosure, swimming pools and pergolas
- Replacing pavement in yards, areaways, or sidewalks
- Repairing or patching pavement in a yard, areaway, or sidewalk with a different material
- Installing pavement in yard areas previously unpaved
- Removing paving material
- Altering areaway steps
- Installing or removing permanently installed planters
- Painting pavement
- Constructing garbage can enclosures or any other structures in yards or areaways
- Installing new sidewalk tree pits
- Installing yard or areaway lighting
- Changing the level of yards or areaways
- Creating a curb cut or parking lot in the yard or areaway

## Design Guidelines for Yards and Areaways at Rowhouses

Please consider the following guidelines when submitting a proposal for yards and areaways:

- The work should not result in the removal or destruction of significant historic fabric
- Paving materials should be consistent with paving materials historically found in areaways and yards of buildings of this age and type
- Adjustments to the stairs or planting beds should not substantially alter the apparent grade of the areaway or yard
- Only missing sections of historic ironwork, or elements damaged beyond practical repair, should be removed and/or replaced, and new ironwork elements should match the historic ironwork in terms of design, details, and finish and be compatible with the original ironwork in terms of its durability, visual characteristics, and ability to receive a painted finish
- Where no historic ironwork exists at the yard or areaway, new fences, railings and walls should be in keeping with the ironwork historically found at yards on buildings of the same age, style and type in terms of height, material, design and finish
- Proposed garbage enclosures will be of simple design and neutral materials that will not call undue attention to themselves, and if possible, should be partially concealed by the areaway fence or wall



Yards and areaways are character defining urban spaces.

### Design Guidelines for Yards in Historic Districts

If landscaping is identified as a significant feature of a landmarked property, for example in the Douglaston, Fieldston or Riverdale historic districts, please consider the following guidelines when submitting a proposal for yards and areaways:

#### Alterations to existing landscape

- The proposed modifications to an existing wall, step, path, driveway, railing, fence, gate, gate post, permanent garden structure or pavilion, sidewalk or street gutter should match the existing or historic condition or style in terms of the materials, details, finish and design, or should be compatible with materials traditionally found throughout the district
- The substitute paving material should be consistent with the predominant paving materials found elsewhere in the district in terms of details, finish and design

## Construction of New Landscape Improvements

### Fences

- Fencing at the front of the property should be avoided unless historic documentation showed that it was a typical feature for similar buildings in the same historic district; lot line fencing should be of a height and made of materials similar to fences typically found in the district.

### Driveways, Paths, Patios, and Walkways

- The proposed driveway, path, patio or walkway should be constructed of materials that match the existing or historic paving materials, or paving materials traditionally found throughout the district
- New driveways to new garages should be consistent in terms of their placement, width and paving materials with other historic driveways in the historic district
- New patios should be appropriately scaled in relation to the building and façade and shall be located in the side or rear yard
- New stone walls and retaining walls for planting at the perimeter should be as low as possible and constructed of materials that match the existing or historic materials

### Swimming Pools and Related Fences and Decks

- Proposed swimming pools and related fences and decks should not be visible or should be minimally visible from a public thoroughfare

### **Work Affecting Mature Trees in the Douglaston Historic District, the Riverdale Historic District, and the Sunnyside Gardens Historic District**

- Mature trees in these historic districts should be retained. Any proposed removal will be considered if the application includes a report from a certified arborist that the tree is dead or seriously diseased, or if the tree is causing, or threatening to cause, significant damage to a building on the lot or adjacent lot(s) and a report setting forth how the tree is damaging or threatening to damage a building is submitted from an architect or engineer.

## Application Checklist for Yards and Areaways

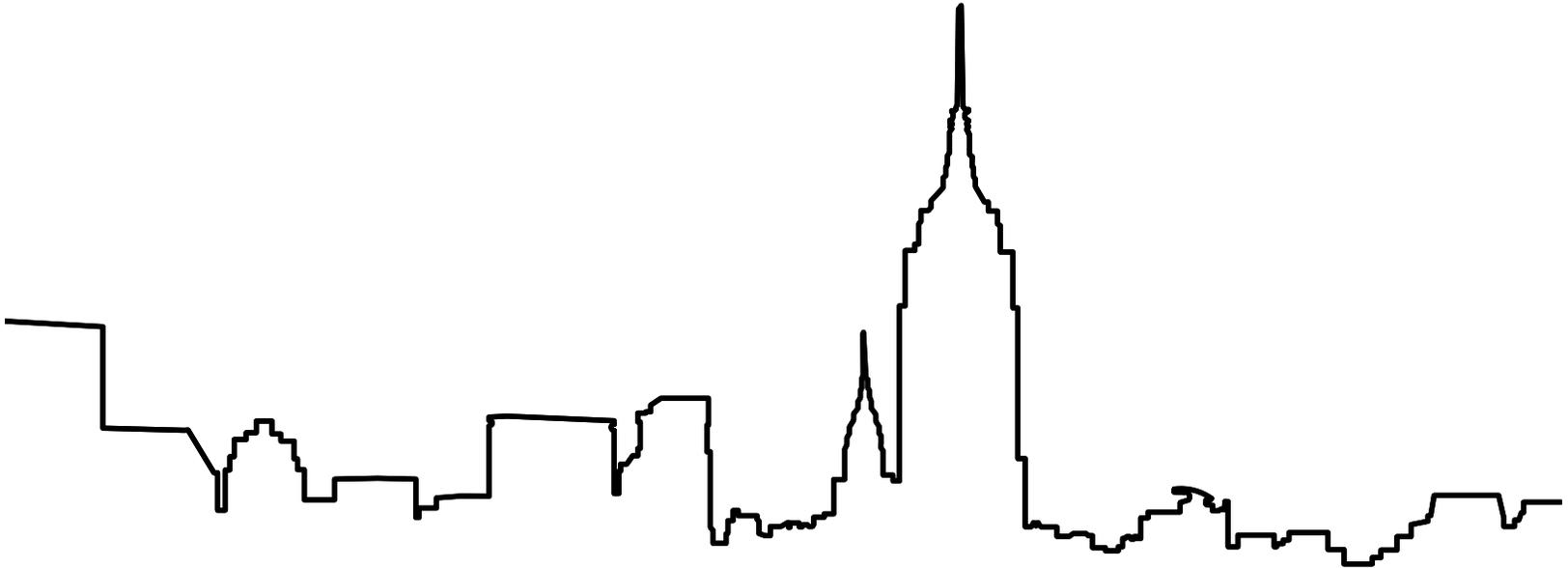
Below is a list of required descriptive materials for your yard/areaway proposal. These materials will help the Commission evaluate the impact of your proposal on the associated landmark site.

- Permit application form signed by the building owner
- Color photograph(s) of the building in elevation showing existing conditions of the area of work and its surroundings. See instructions in the sidewalk repair and replacement section for guidance on taking photos.
- Building footprint plan, block plan, site plan, or Sanborn map showing the location of work
- Elevation, plan and section** drawings of the areaway, driveway or yard, including fences, railings, planters, pergolas, decks, and other proposed installations in the yard. Prepare existing and proposed conditions for each drawing and include as much context as possible.
- Color samples or manufacturer cut sheet(s) if color or product information is needed
- If you have met all of the requirements and staff has confirmed you are able to receive a staff-level approval, you must submit two sets of filings drawings signed and sealed by a licensed architect or engineer if the proposed work requires a Department of Transportation permit before the LPC approval may be issued
- Report from arborist, engineer or architect if work requires removal of a mature tree and work is in the Fieldston, Douglaston or Riverdale historic districts

**An LPC staff preservationist will contact you if additional materials are required.**

# SITE WORK

Sample Application Materials





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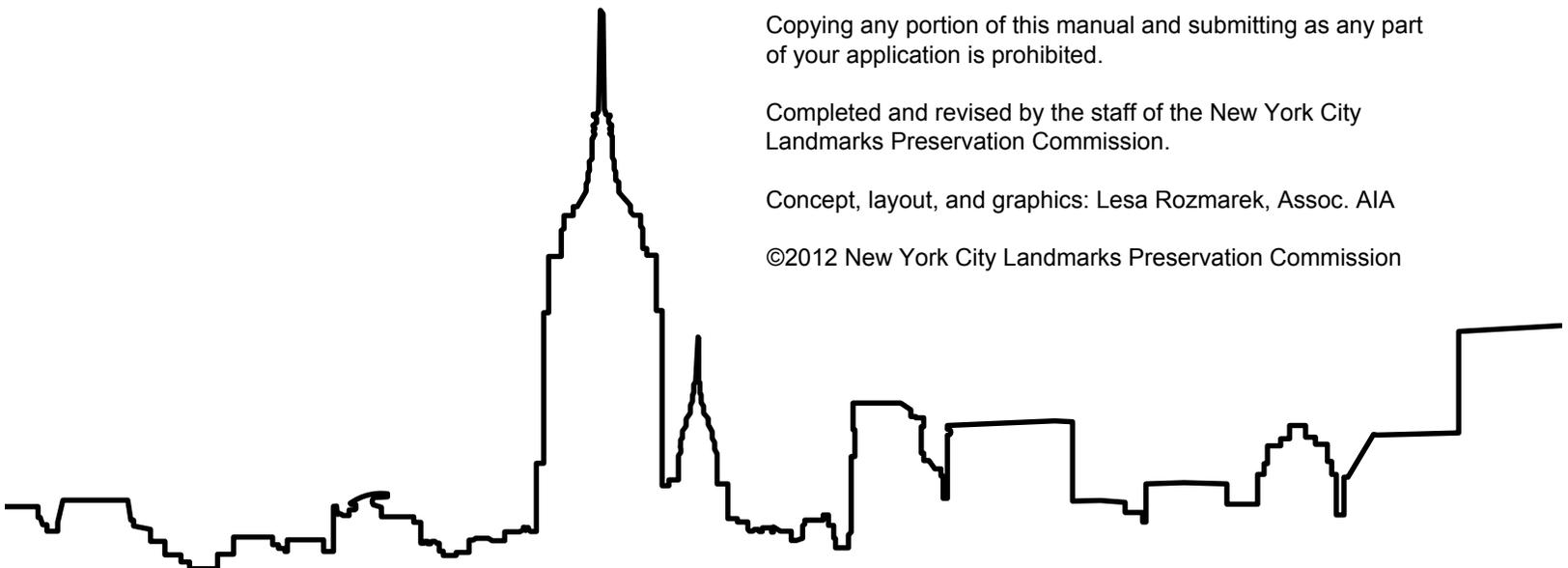
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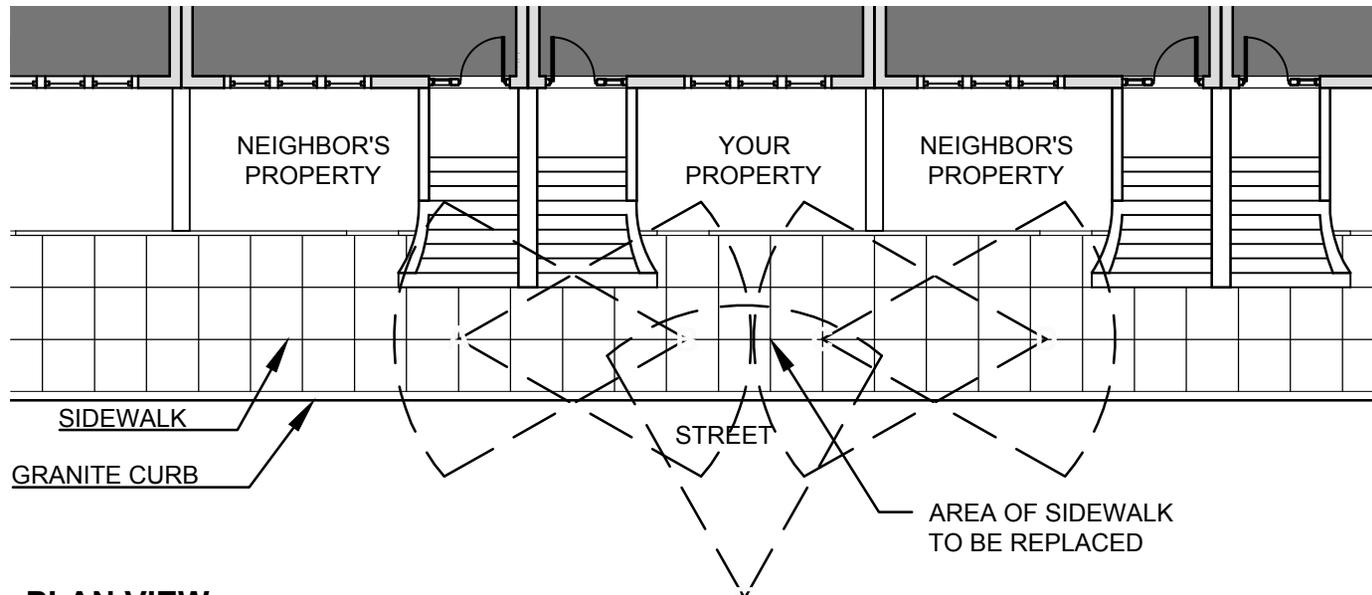
Completed and revised by the staff of the New York City Landmarks Preservation Commission.

Concept, layout, and graphics: Lesa Rozmarek, Assoc. AIA

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It is important that your photographs systemically show the entire sidewalk, and allow your staff preservationist to fully understand the proposed work without having to see the site in person, reducing permit processing time. Below are some tips to help you clearly articulate the scope of proposed work.



## PLAN VIEW

### Step 1

Identify the sections of the sidewalk that are to be replaced. See above example diagram for guidance.

### Step 2

Take photographs from the locations that correspond to the lettered dots in the example diagram. The cones indicate the direction you should face when taking the photograph.

### Step 3

Label each photograph according to the direction you are facing.



**A**



**C**



**E**



**B**



**D**

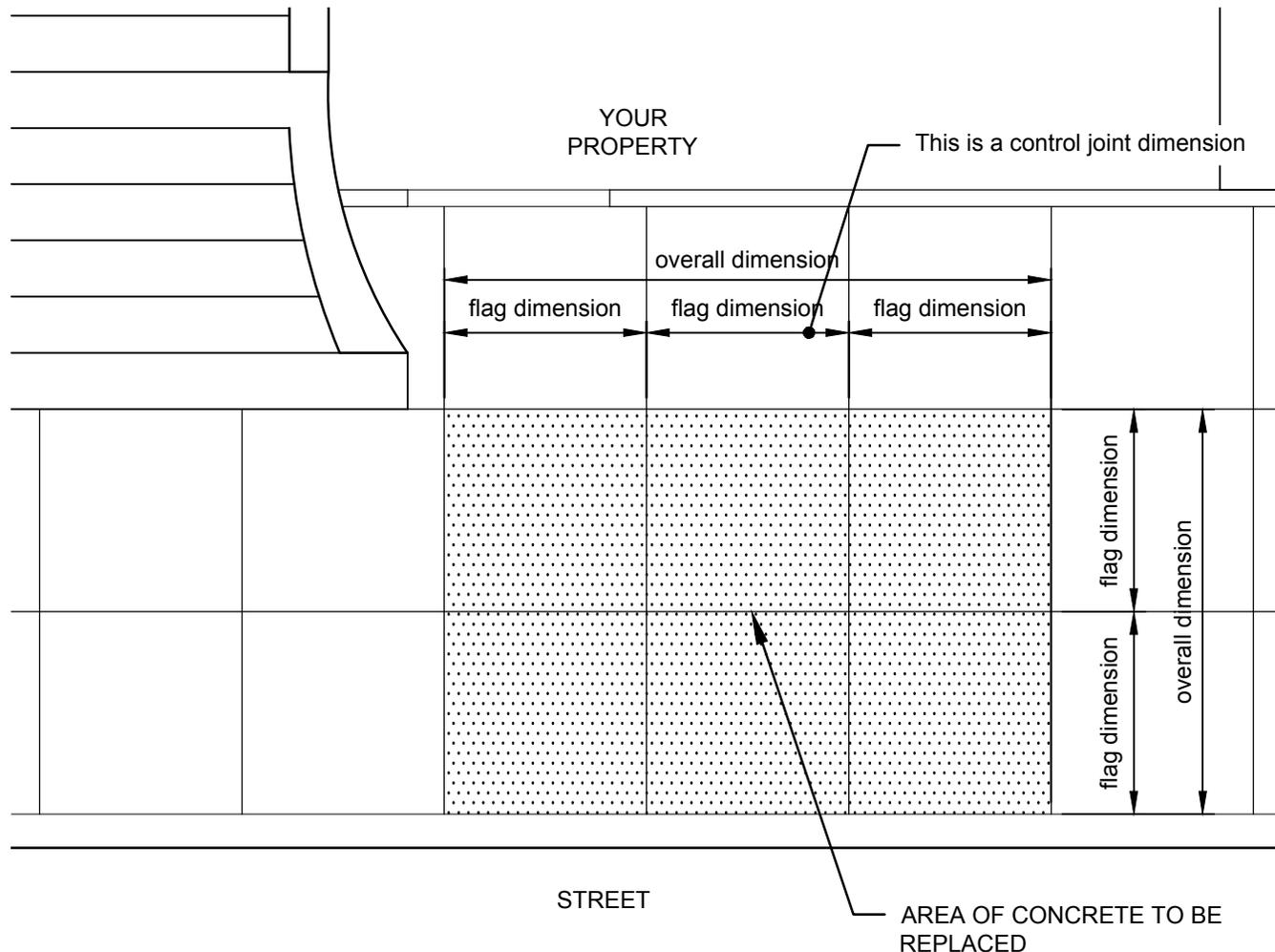
**SIDEWALK REPLACEMENT**  
123 HENRY ST., NEW YORK, NEW YORK

**Photographing Sidewalks**

## How to Draw a Sidewalk Plan

Below are some tips to help you prepare a sidewalk plan, which enables the Commission to determine whether the proposed new sidewalk is consistent with the sidewalk elsewhere on the block. To ensure your plan has the right information, please:

- Measure the existing sidewalk grid and flags
- Measure the curb that aligns with the sidewalk
- Draw the grid of the sidewalk on a sheet of paper
- Write down the measurements of the existing sidewalk and proposed replacement sidewalk
- Write down the measurements of the existing flags and proposed flags
- Write down the measurements of the adjacent sidewalk
- Write down the measurements of the adjacent flags
- Write down the materials that will be used for the replacement sidewalk
- Write down the measurements of the curb



## How to Document Existing Sidewalk Conditions

If you are replacing stone or vault covers along the sidewalk, you must submit a drawing that clearly represents the existing conditions underneath the sidewalk. The below sample drawing specifies the dimensions and information that must be included in the drawing you submit with your application.

