

SYMBOLS

	CENTER LINE		SECTION DETAIL
	PROPERTY LINE		NORTH & SUN PATH
	FENCE LINE		MATCH LINE
	WINDOW TYPE		STAIR INFO
	STORE FRONT TYPE		CEILING HEIGHT
	DOOR TYPE		DIRECTION & PERCENTAGE OF SLOPE (PLAN)
	FIRE EXIT		SLOPE (SECTION/ELEVATION)
	EMERGENCY BATTERY-POWERED LIGHT		HYDRANT
	LEGEND		YARD DRAIN
	MATERIAL LEGEND		APPLIANCE TYPE
	SPECIFICATIONS		SPRINKLER HEAD
	DETAIL		SPRINKLER HEAD (WALL)
	TOP CURB ELEVATION		ROOM NAME
	BOTTOM CURB ELEVATION		SPACE NAME
	PLAN ELEVATION		UNIT IDENTIFICATION
	ELEVATION MARKER		AREA
	CEILING LEVEL		
	REVISION MARKER		
	PARTITION/WALL TYPE		
	GLASS TYPE		
	ROOM NAME		
	SPACE NAME		
	UNIT IDENTIFICATION		
	AREA		

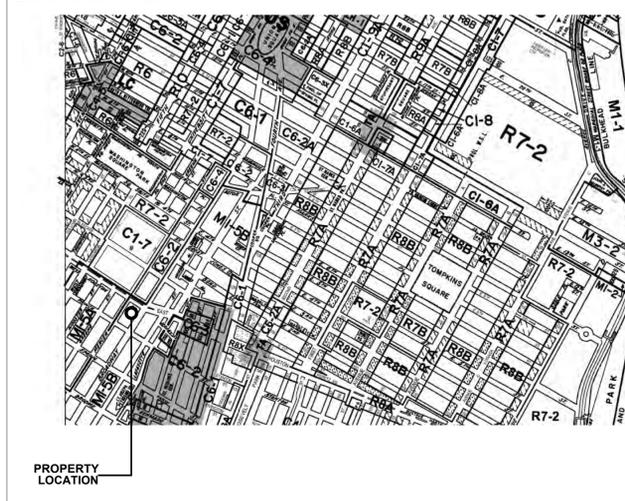
ABBREVIATIONS

AFF - ABOVE FINISHED FLOOR	FFPC - FIRE-PROOF, SELF-CLOSING	PART - PARTITION
ALUM - ALUMINUM	GALV - GALVANIZED	PLYWD - PLYWOOD
ARCHT - ARCHITECT	GC - GENERAL CONTRACTOR	PSI - POUNDS PER SQUARE INCH
BLDG - BUILDING	GF - GLASS	RTD - PAINTED
BLK - BLOCK	GLB - GLYPH	REF - REFRIGERATOR / REFERENCE
BLKG - BLOCKING	GWB - GYPSUM WALL BOARD	REINF. - REINFORCINGS
BOT - BOTTOM	CYP - CYPRESS	R.A. - RETURN AIR
CAB - CABINET	HCWD - HOLLOW CORE DOOR	REQD - REQUIRED
CEM - CEMENT	HDCP - HANDICAP	RM - ROOM
CMU - CONCRETE MASONRY UNIT	HDWR - HARDWARE	SCHED - SCHEDULE
CPT - CARPET	HVAC - HEATING VENTILATION AND AIR CONDITIONING	SECT - SECTION
CT - CERAMIC TILE	HORIZ - HORIZONTAL	SIM - SIMILAR
CLG. HT. - CEILING HEIGHT	HT - HEIGHT	SPECOS - SPECIFICATIONS
CLG - CEILING	HP - HIGH POINT	STD - STANDARD
CL - CLOSET	INSUL - INSULATION	STRUC - STRUCTURAL
COL - COLUMN	IT - JOINT	SUSP - SUSPENDED
CONSTR. - CONSTRUCTION	LAV - LAVATORY	SW - SWITCH
DET - DETAIL	LOC. - LOCATION	T&G - TONGUE AND GROOVE
DIA - DIAMETER	LP - LOW POINT	T.O. - TOP OF
DIM - DIMENSION	MAS - MASONRY	THK - THICK / THICKNESS
DN - DOWN	MATL - MATERIAL	TYP - TYPICAL
DWG(S) - DRAWING(S)	MAX - MAXIMUM	U.O.N. - UNLESS OTHERWISE NOTED
EACH - EACH	MDF - MEDIUM DENSITY FIBERBOARD	W.C. - WATER CLOSET
ELEC - ELECTRIC	MECH - MECHANICAL	WC - WITH
EL / ELEV - ELEVATION	MTL - METAL	WD - WOOD
EXG - EXISTING	MIN - MINIMUM	WH - WALL HUNG
EXT - EXTERIOR	MTD. - MOUNTED	WP - WEATHER-PROOF
FAI - FRESH AIR INTAKE	NAT - NATURAL	WR - WATER RESISTANT
FIN - FINISHED	N.I.C. - NOT IN CONTRACT	WWM - WELDED WIRE MESH
FIXT - FIXTURE	NO. - NUMBER	
FLOOR - FLOOR	N.T.S. - NOT TO SCALE	
FT - FOOT	O.C. - ON CENTER	
F.P. - FIRE-PROOF		

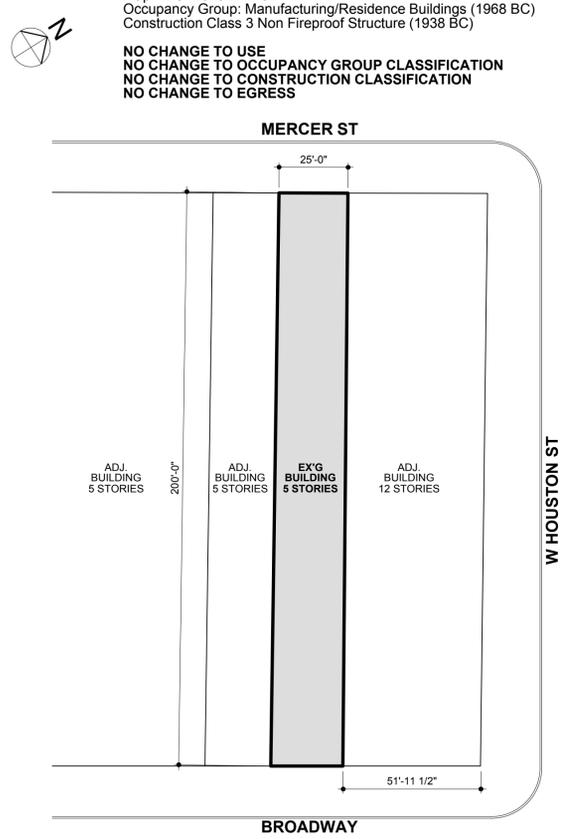
GENERAL CONSTRUCTION NOTES

- ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE CITY OF NEW YORK, THE STATE OF NEW YORK, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING AND/OR PAYING FOR ALL PERMITS, CERTIFICATES, GUARANTEES, ETC. AS ARE REQUIRED BY LOCAL AUTHORITIES HAVING JURISDICTION PRIOR TO COMMENCING WORK AS REQUIRED. THE CONTRACTOR SHALL DELIVER THESE PERMITS TO THE OWNER UPON COMPLETION OF THE WORK UNLESS OTHERWISE RETAINED. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY VIOLATIONS ARISING FROM THE LACK OF PERMIT, CONDEMNED WORK, OR FINES.
- REQUIRED SOURCES OF NATURAL LIGHT SHALL HAVE A TOTAL FLOOR AREA EQUAL TO 10% OF THE HABITABLE ROOM SERVICED. REQUIRED SOURCES OF NATURAL AIR SHALL HAVE A TOTAL FLOOR AREA EQUAL TO 5% OF THE HABITABLE ROOM SERVICED.
- INTERIORS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NYC BUILDING CODE FOR WIDTH, CLEAR HEADROOM, AND MINIMUM MAXIMUM TREAD AND RISER DIMENSIONS.
- THESE CONTRACT DOCUMENTS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS, AND THE TYPE OF MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL SYSTEMS. AS SCOPE DOCUMENTS, THEY DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THE DRAWINGS, SPECIFICATIONS, AND CONSTRUCTION NOTES CONTAINED HEREIN FORM A PACKAGE OF CONTRACT DOCUMENTS, WHICH IS SUPPLEMENTARY AND COMPLEMENTARY. IN THE EVENT OF A CONFLICT AMONG ANY OR SOME OF THE DRAWINGS, SPECIFICATIONS, AND NOTES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR RELATED WORK.
- PRIOR TO SUBMISSION OF HIS BID, THE CONTRACTOR SHALL VISIT THE JOB SITE TO ASCERTAIN THE ACTUAL FIELD CONDITIONS AS THEY RELATE TO THE WORK INDICATED ON THE DRAWING AND DESCRIBED HEREIN. DISCREPANCIES, IF ANY, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO SUBMISSION OF HIS BID, AND IF DISCREPANCIES ARE NOT RESOLVED TO THE CONTRACTOR'S SATISFACTION, HE SHALL ADD A WRITTEN QUALIFICATION IN HIS BID.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE COMMENCEMENT OF WORK AND BE RESPONSIBLE FOR THEIR ACCURACY. ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DOCUMENTS OR WITHIN THE DOCUMENTS ARE TO BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR RELATED WORK.
- DRAWINGS ARE NOT TO BE SCALED. USE WRITTEN DIMENSIONS ONLY. ALL DIMENSIONS SHOWN ARE TO THE FINISH FACE OF THE PARTITION U.O.N.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION.
- THE CONSTRUCTION WORK SHALL BE CONFINED TO THE AREA SHOWN ON THE PLAN AND BE PERFORMED IN A NEAT, CLEAN, ORDERLY MANNER SO AS TO NOT CREATE DUST, DIRT, OR DEBRIS AT ANY TIME. CARE SHOULD BE TAKEN AT ALL TIMES TO PROTECT OWNER'S SITE AND PROPERTY. ANY PART OF THE OWNER'S PROPERTY DAMAGED DURING THE COURSE OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED WITH WORK OF EQUAL QUALITY AT THE CONTRACTOR'S EXPENSE.
- ALL MATERIAL STORED ON THE SITE SHALL BE ADEQUATELY PROTECTED AGAINST WEATHER AND THEFT. FINISHED WORK IS TO BE PROTECTED AGAINST DAMAGE FROM OTHER WORK IN PROGRESS; THE REPAIR AND EXPENSE, OF COMPLETED WORK OR MATERIALS DAMAGED DURING THE COURSE OF THE CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- PROVIDE DUST PROOF BARRIERS AT ALL OCCUPIED AREAS ADJACENT TO NEW WORK, AND AT PUBLIC AREAS AFFECTED BY NEW WORK. TEMPORARY PARTITIONS INSTALLED BETWEEN THE AREA OF WORK AND AREAS NOT UNDER CONTRACT BUT OCCUPIED BY THE OWNER, SHALL BE CONSTRUCTED AS DUST PROOF BARRIERS.
- ALL EXISTING MATERIALS OR EQUIPMENT REMOVED BY THE CONTRACTOR TO PERFORM NEW WORK SHALL BE PROTECTED FROM DAMAGE UNTIL THEY CAN BE REINSTALLED. ANY DAMAGE TO SUCH MATERIALS OR EQUIPMENT SHALL BE REPLACED OR REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL CONTRACTORS, WORKMEN AND AGENTS WORKING AT, OR VISITING THE SITE SHALL BE COVERED BY ALL NECESSARY STATUTORY INSURANCE INCLUDING, BUT NOT LIMITED TO: LIABILITY, WORKMENS COMPENSATION, AND DISABILITY.
- THE CONTRACTOR SHALL ASSURE THAT ALL TRADES INVOLVED IN THE PROJECT HAVE COORDINATED THE INSTALLATION OF THEIR WORK SO AS TO AVOID CONFLICTS AND / OR MISALIGNMENTS.
- ALL WORK, INCLUDING DELIVERIES, SHALL BE PERFORMED ON DAYS AND WITHIN HOURS APPROVED BY THE OWNER. THE CONTRACTOR SHALL ALSO COORDINATE ALL TESTS AND TEMPORARY SHUTDOWNS OF SERVICES WITH THE OWNER AS REQUIRED.
- THE JOB SHALL BE ADEQUATELY STAFFED AT ALL TIMES TO INSURE CONTINUITY AND PROGRESS WITH ALL AREAS OF WORK PROPERLY COORDINATED.
- USE DIELECTRIC SEPARATOR ON ALL DISSIMILAR METALS.
- INSTALL ADEQUATE SOLID BLOCKING AND PARTITION REINFORCING FOR ALL WALL MOUNTED CABINETRY, ACCESSORIES AND EQUIPMENT. ALL BLOCKING AND WOOD SHALL BE FIRE RETARDANT TREATED.
- PROVIDE ALL NECESSARY SHORING, BRIDGING, BARRICADES, SIGNS, ETC. TO INSURE SAFETY AT ALL TIMES.
- ALL NEW WORK TO BE THOROUGHLY TIED AND BONDED TO EXISTING CONSTRUCTION AND STRUCTURE.
- FINISH CODES AND FINISH NOTES INDICATE GENERAL TYPES OF FINISHES ONLY. FINAL SELECTION OF ALL FINISHES SHALL BE MADE BY ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES.
- ALL PATCHING AND JOINING SHALL BE NEAT AND CLEAN, MATCHING ADJACENT SURFACES IN FINISH AND TEXTURE.
- ALL WORK TO BE PLUMB, LEVEL AND OF THE BEST WORKMANSHIP.
- ALL WORK DEEMED DEFECTIVE OR UNACCEPTABLE BY THE OWNER OR ARCHITECT SHALL BE REMOVED AND REPLACED TOGETHER WITH RELATED AFFECTED AREAS AT THE EXPENSE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL SUBMIT TO THE ARCHITECT ALL REQUIRED SHOP DRAWINGS, SAMPLES, AND PRODUCT INFORMATION AS CALLED FOR BY THE DRAWINGS OR SPECIFICATIONS PRIOR TO CONSTRUCTION.
- ANY MATERIAL WHICH IS OF QUESTIONABLE COMPOSITION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. MATERIAL CONTENT & QUALITY SHALL BE DETERMINED AT THE SOLE DISCRETION OF THE ARCHITECT.
- WHERE PARTITIONS ARE REMOVED AND/OR RELOCATED, THE FLOOR, CEILING AND WALLS SHALL BE PATCHED AND PAINTED TO MATCH ADJACENT SURFACES.
- WHERE NEW PARTITIONS EXTEND THROUGH AN EXISTING HUNG CEILING, REMOVE THE MINIMUM AMOUNT OF MATERIALS NECESSARY AND PROVIDE NEW CEILING MATERIALS AND MOLDINGS TO MATCH AS REQUIRED.
- WHERE MECHANICAL AND ELECTRICAL WORK IS TO BE INSTALLED OR REMOVED ABOVE AN EXISTING HUNG CEILING, REMOVE THE MINIMUM AMOUNT OF MATERIALS NECESSARY AND PROVIDE NEW CEILING MATERIALS AND MOLDINGS TO MATCH AS REQUIRED. PROVIDE ALL CUTOUPS FOR INSTALLATION OF THE NEW REGISTERS, DIFFUSERS, AND OTHER CEILING MOUNTED PRODUCTS AS REQUIRED.
- ALL FREE-STANDING COLUMNS SHALL RECEIVE THE SAME FINISH AS CALLED FOR IN THE FINISH CODES OR FINISH NOTES FOR THAT ROOM UNLESS OTHERWISE NOTED.
- THE LOCATIONS OF ALL ELECTRICAL, FIRE PROTECTION, PLUMBING AND MECHANICAL WALL MOUNTED DEVICES, ACCESS DOORS, AND PANELS ARE TO BE COORDINATED WITH THE ARCHITECT.
- ALL SURFACES VISIBLE THROUGH MECHANICAL OR ARCHITECTURAL SLOTS, LOUVERS, GRILLES, DIFFUSERS, ETC. ARE TO BE PAINTED MATTE BLACK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY THE GOVERNING NEW YORK CITY AGENCIES.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICALS, ETC.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE DEPARTMENT OF BUILDINGS ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE BUREAU OF ELECTRICAL CONTROL ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRS AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

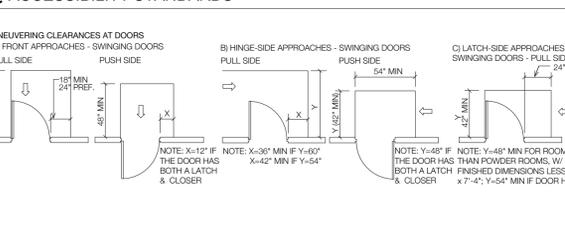
ZONING MAP : 12c



PLOT PLAN
1/32" = 1'0"



ACCESSIBILITY STANDARDS



SoHo-Cast Iron

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597 Broadway
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General Information

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1 OF 4

SoHo-Cast Iron
Historic District
Manhattan
Designated: August 14, 1973

Historic District Boundaries

CITY OF NEW YORK
LANDMARKS
PRESERVATION
COMMISSION

DRAWING INDEX

G-101.00	GENERAL INFO, ZONING & PLOT PLAN, ADA
G-102.00	EXISTING STOREFRONT PHOTOS
G-103.00	EXISTING PLANS, ELEVATIONS, & PHOTOS
G-104.00	PROPOSED PLANS & ELEVATIONS

HOUSE INFO

Block: 512
Lot: 7503
Address: 597 Broadway
New York, NY 10012
Zoning: M1-5B - Manufacturing
Zoning Map #: 12c
Occupancy Group: Commercial/Residential
Construction Class: 3-Non Fireproof
Stories: 6 + Cellar & Sub-Cellar

SOHO CAST-IRON HISTORIC DISTRICT

REQUIRED CONTROLLED INSPECTIONS

PROGRESS INSPECTIONS

- Final	28-116.2.4.2, BC 109.5
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1. OVERALL STOREFRONT VIEW FROM BROADWAY

EX'G ACCESSIBILITY ASSISTANCE SIGNAGE. REFER TO PHOTO 5.
EX'G ACCESSIBILITY ASSISTANCE BELL. REFER TO PHOTO 6.



2. RETAIL ENTRY FROM SIDEWALK



3. SPRINKLER STANDPIPE AND FRESH AIR INTAKE ALONG PROPERTY LINE AT SIDEWALK



4. LOWER STOREFRONT AND SIDEWALK CONDITION



5. RETAIL ENTRY STAIRS & PLATFORM FROM SIDEWALK



6. ASSISTANCE BELL AT RETAIL ENTRY

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Ex'g Conditions Photos

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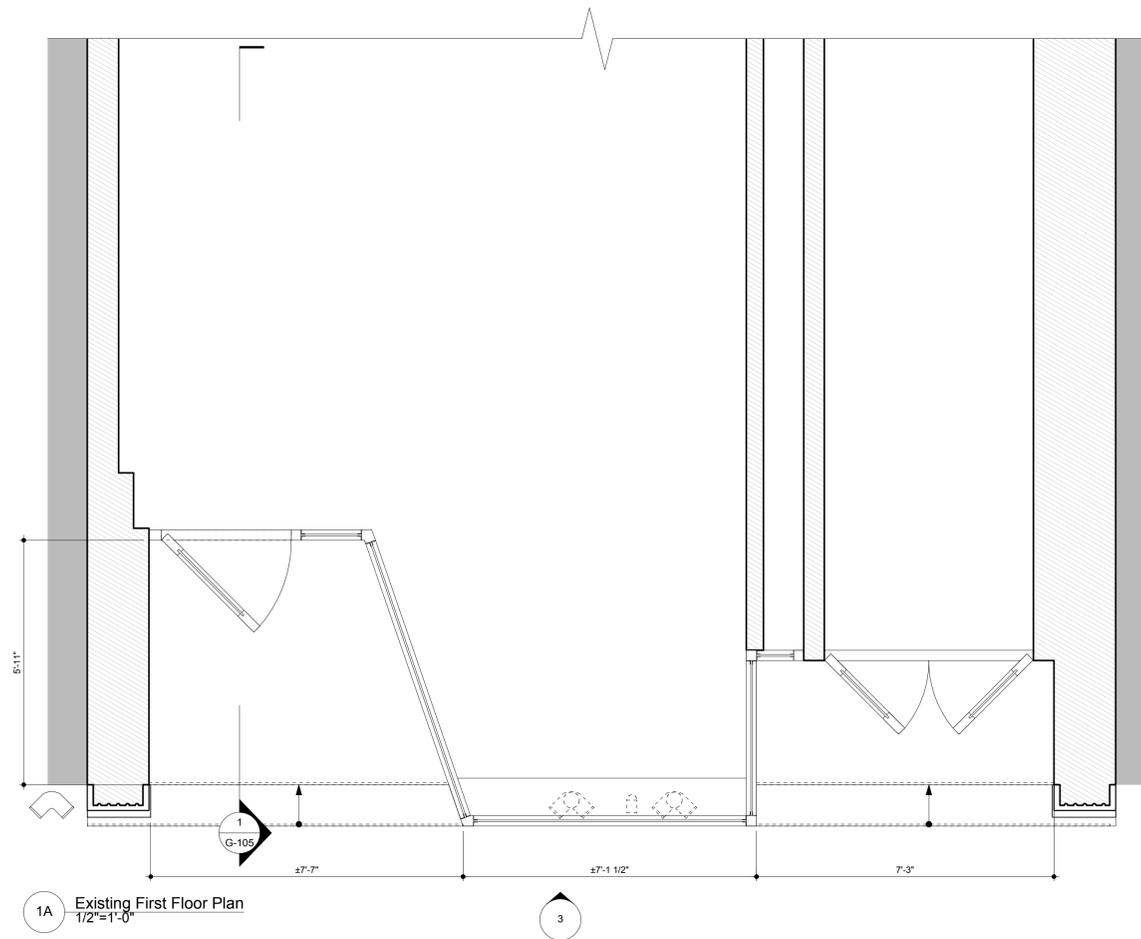
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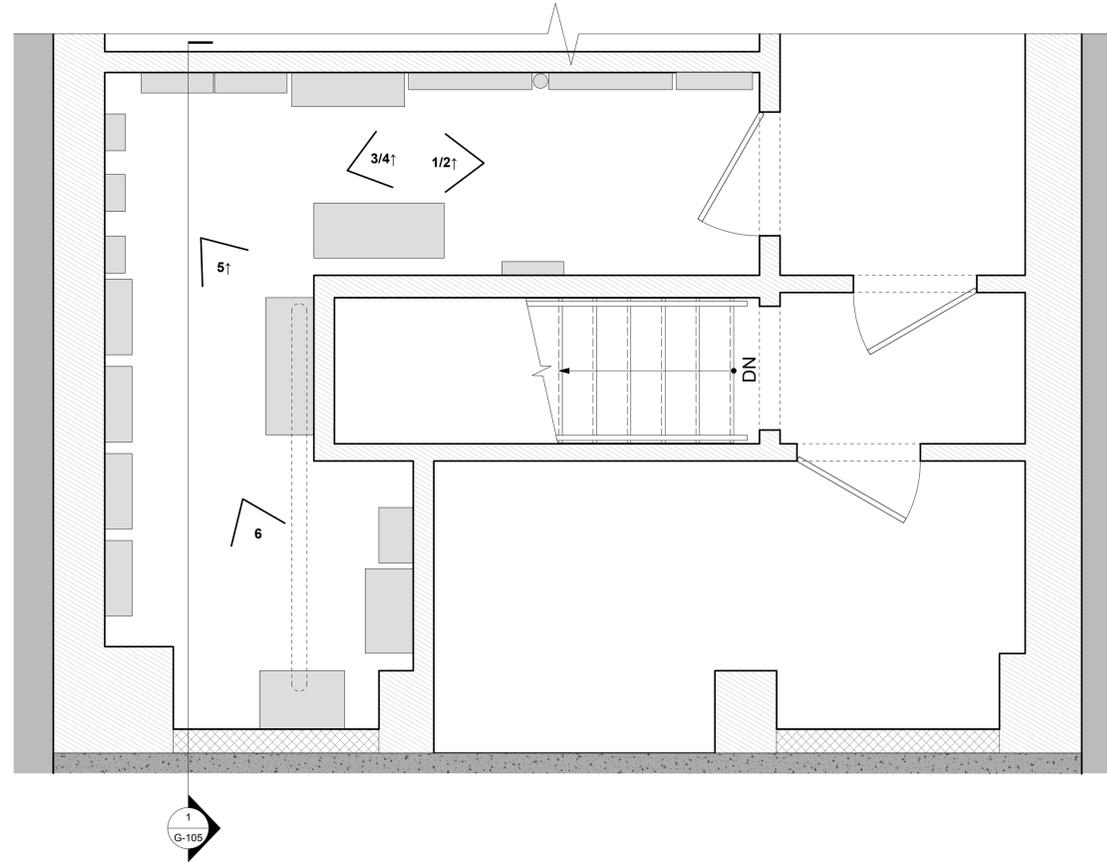
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1A Existing First Floor Plan
1/2"=1'-0"



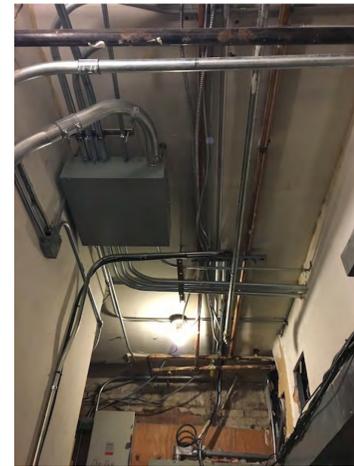
3 Existing Elevation @ Storefront
1/2"=1'-0"



2A Existing Basement Plan (and Photo Key Plan)
1/2"=1'-0"



1. EX'G ELEC. MTRS



2. EX'G CONDUIT AT CEILING ADJ. TO AREA OF PROP. NEW BEAM/DROPPED CLG



3. EX'G ELEC. MTRS & CONDUIT ADJ. TO AREA OF PROP. NEW COLUMN



4. EX'G GAS PIPE (NOT AFFECTED) & CONDUIT AT CLG ADJ. TO AREA OF PROP. NEW BEAM



5. EX'G CONDUIT ADJACENT TO AREA OF PROP. NEW BEAM/DROPPED CLG



6. EX'G FIRE SAFETY EQUIPMENT

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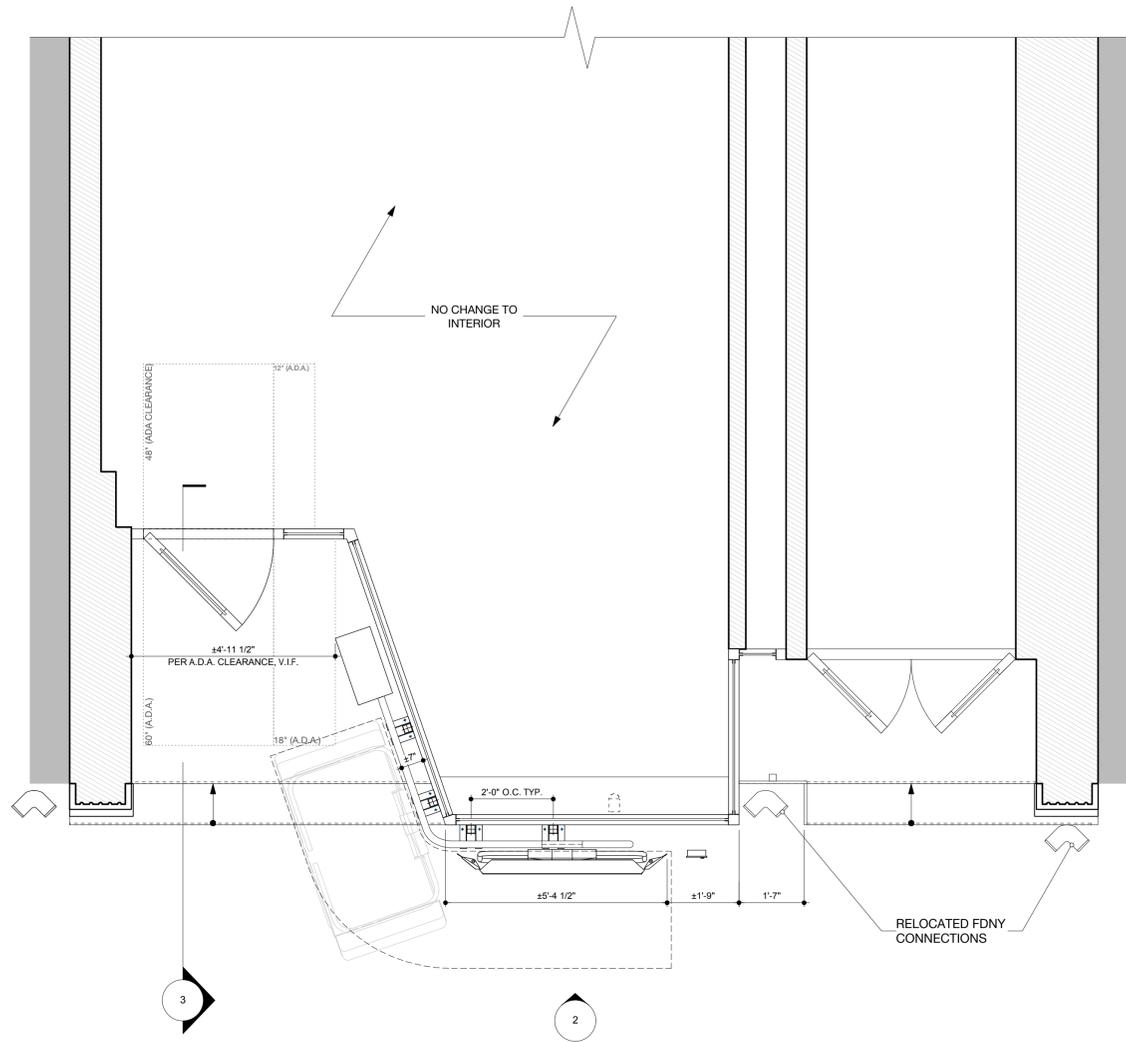
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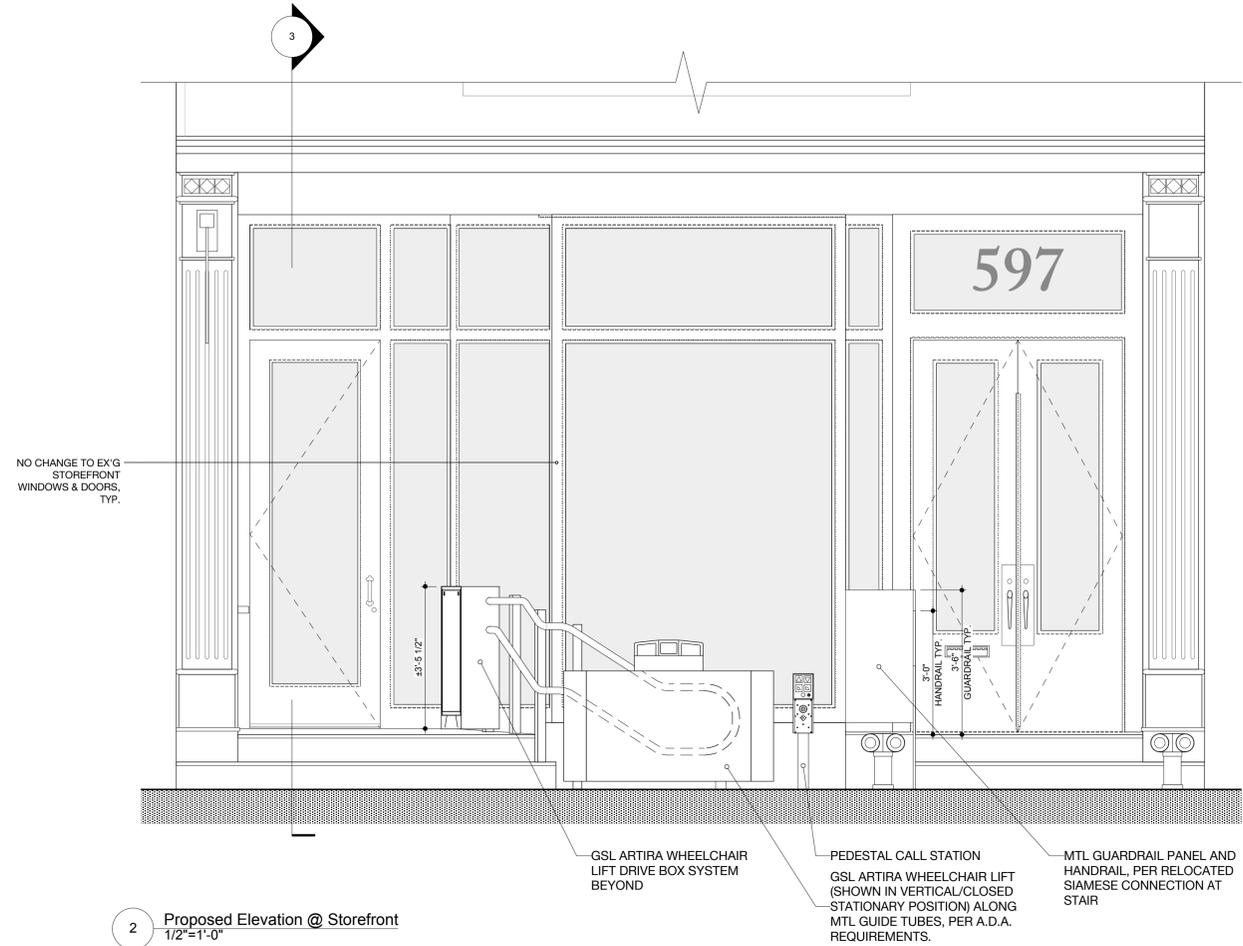
Ex'g Plans, Elevation, & Basement Photos

	REV#	ISSUE	DATE
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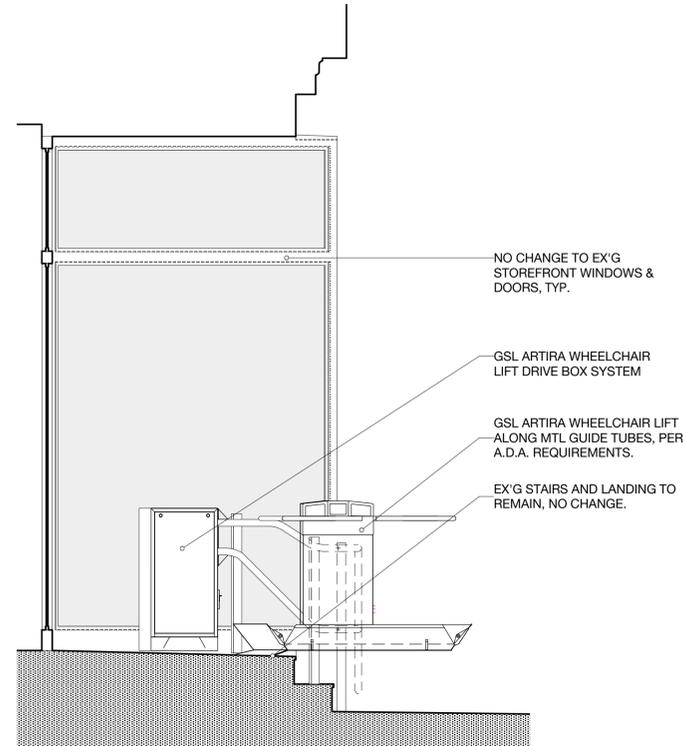
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1 Proposed Storefront Plan
1/2"=1'-0"



2 Proposed Elevation @ Storefront
1/2"=1'-0"



3 Proposed Section @ Storefront Entry
1/2"=1'-0"

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Proposed Plan, Elevation & Section

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