

# Manhattan Community Board 4

(All Fields Must Be Completed)

## Liquor License Stipulations Application

<b>CORPORATION NAME</b>		<b>DOING BUSINESS AS (DBA)</b>	
Eden Ballroom LLC		Space Ibiza NY	
<b>STREET ADDRESS</b>		<b>CROSS STREETS</b>	<b>ZIP CODE</b>
637 West 50th Street		11th & 12th Avenue	10019
<b>OWNER</b> <small>(Attach a list of all the people that will be associated/listed with the license)</small>	<b>NAME:</b> Anthony Piacquadio	<b>ATTORNEY/ REPRESENTATIVE</b>	<b>NAME:</b> Frank W. Palillo
	<b>PHONE:</b> (212) 247-2447		<b>PHONE:</b> (212) 227-1640
	<b>EMAIL:</b> Antonio@spaceibizany.com		<b>EMAIL:</b> Fwpalillo@gmail.com
<b>MANAGER</b>	<b>NAME:</b>	<b>LANDLORD</b>	<b>NAME:</b> John Petrucelli
	<b>PHONE:</b>		<b>PHONE:</b> (212) 262-6063
	<b>EMAIL:</b>		<b>EMAIL:</b>
<b>APPLICATION TYPE (Check One)</b>			
<input type="radio"/> <b>New</b>	Has applicant owned or managed a similar business?	<input type="checkbox"/> YES	<input type="checkbox"/> NO
	What is/was the name and address of establishment?		
	What were the dates applicant was involved with this former premise?		
<input type="radio"/> <b>Transfer</b>	What is the prior license # and expiration date?		
	Is applicant making any alterations or operational changes?	<input type="checkbox"/> YES	<input type="checkbox"/> NO
	If alterations or operational changes are being made, please describe/list all changes.		
<input checked="" type="radio"/> <b>Alteration</b> <b>Change to MO</b>	What is the current license # and expiration date?	1272794 - 8/31/2016	
	Please list/describe the nature of all the changes and attach the plans: Add occasional topless entertainment		
<b>METHOD OF OPERATION</b>			
<b>TYPE OF ALCOHOL</b>	<input checked="" type="checkbox"/> Liquor/Wine/Beer	<input type="checkbox"/> Beer	<input type="checkbox"/> Wine & Beer
<b>ESTABLISHMENT TYPE</b>	<input checked="" type="checkbox"/> Restaurant <input checked="" type="checkbox"/> Cabaret <input checked="" type="checkbox"/> Night Club <input type="checkbox"/> Hotel <input type="checkbox"/> Bar/Tavern <input type="checkbox"/> Catering Establishment <input checked="" type="checkbox"/> Occasional topless entertainment <input checked="" type="checkbox"/> Adult Entertainment <input type="checkbox"/> Wine Bar <input type="checkbox"/> Dance Club <input type="checkbox"/> Sports Bar <input type="checkbox"/> Club (Fraternal Organization – Members Only)		
Has applicant/owner filed with the SLA? If yes, when? If no, when do you plan to file?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Is the 500 Foot Rule applicable? If yes, please attach a diagram of the On-Premise liquor license establishments within a 500 ft. radius of your establishment and the Public Interest Statement.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Is the 200 Foot Rule applicable? If yes, please attach a diagram of the schools and houses of worship that trigger the rule.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Has applicant/owner(s) read MCB4 Policy Regarding Concentration and Location of Alcoholic-Serving Establishments?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	

OPERATIONAL DETAILS (*Closing time will be when establishment is vacated of all patrons)									
HOURS* <i>(Indoor Only)</i>		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY	
	Operation								
	Kitchen	AS PER ATTACHED STIPULATION							
	Music								
If you plan to have music, what type(s)? (Circle all that apply)		BACKGROUND	LIVE MUSIC	DJ	JUKE BOX	KARAOKE			
OCCUPANCY									
	Capacity (Certificate of Occupancy)	Maximum # of Persons You Anticipate Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Stand-Up Bar		
INSIDE	1390	1390	45	231	0	4	42		
OUTSIDE <i>(Other than sidewalk café)</i>	115	115	23	115					
SIDEWALK CAFÉ									
How many floors are there? What is the capacity for each floor?									
How frequently will the owner(s) be at the establishment?					Full time				
Will you be applying or intending to apply for a cabaret license with DCA? If yes, will there be dancing?					YES	NO	Already exists		
Will applicant have bottle or table service for beverage alcohol?					<input checked="" type="checkbox"/>	NO			
Will you be hosting private, promotional or corporate events?					<input checked="" type="checkbox"/>	NO	Occasionally		
Will outside promoters be used on a regular basis? If yes please describe.					YES	<input checked="" type="checkbox"/>			
Will you have a security plan? If, yes please attach.					<input checked="" type="checkbox"/>	NO			
Will security plan be implemented?					<input checked="" type="checkbox"/>	NO			
Will State certified security personnel be used?					<input checked="" type="checkbox"/>	NO			
Will New York Nightlife Association and NYPD Best Practices be followed?					<input checked="" type="checkbox"/>	NO			
Will applicant be using delivery bicycles? If yes, how many?					YES	<input checked="" type="checkbox"/>			
Will delivery bicycles be clearly marked with the name of the restaurant and will staff wear attire clearly noting name as described by NYC Law?					YES	<input checked="" type="checkbox"/>			
Where will delivery bicycles be stored during the day when not in use?									

LOCATION & ZONING			
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	YES	<input checked="" type="checkbox"/>	
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	<input checked="" type="checkbox"/>	NO	
Is a Public Assembly permit required?	<input checked="" type="checkbox"/>	NO	Already exists
Are your plans filed with DOB?	<input checked="" type="checkbox"/>	NO	

Community Notification/Relations			
<b>NOTIFICATION:</b> List all block associations; tenant associations, co-op boards or condo boards of residential buildings; and community groups that applicant has notified regarding its application. For each please list both the organization and individual you contacted	# 1	Community Board 4	
	# 2		
	# 3		
	# 4		
	# 5		
Please provide dates when applicant met with the groups listed above.			
Who was your contact person at each group you met with?			
When did applicant post the notice that was provided?			
Where did applicant post the notice that was provided?			
Will applicant provide owner cell phone number to neighbors and respond to complaints that arise? Please provide number in space provided.		<input checked="" type="checkbox"/>	NO (917) 494-8848
Will applicant inform the Community Board office of its job openings and/or provide a hyperlink to applicants jobs webpage?		<input checked="" type="checkbox"/>	NO

<b>BUILDING DESIGN</b>			
State the name and type of business previously located in the space.	Eden Ballroom LLC - Nightclub		
Has a liquor-licensed establishment previously occupied this space at any time? If yes, please provide the name of the business.	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Eden Ballroom LLC
Do you plan any changes to the existing façade? If yes, please describe.	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will applicant have a vestibule within the establishment?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will applicant use a storm enclosure?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will applicant not place any items or obstructions on the sidewalk, for example, sandwich boards, sidewalk signs, freestanding menus and plants, as per the law?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant comply with the NYC noise code?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will the establishment have any of the following: (circle all that apply)	<input type="checkbox"/> FRENCH DOORS	<input type="checkbox"/> GARAGE DOORS	<input type="checkbox"/> WINDOWS THAT CAN BE OPENED
Will applicant close all windows, French doors, garage doors when any music or amplified sound (including televisions) is played inside the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant close all windows, French doors, garage doors by 11 PM Friday and Saturday and 10 PM on all other days even if no music or amplified sound is played inside the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Has applicant obtained an acoustical report from a certified sound engineer to assess potential noise disturbance to the neighboring residents and buildings?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Already exists
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Already exists
Will the kitchen exhaust system extend to the roof?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will the establishment have an illuminated sign?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will the establishment have a canopy extending over the sidewalk?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Where will the air conditioner be located? What type is it?	Roof		
When was the air conditioner installed?	2014		

<b>OUTDOOR ITEMS - OTHER THEN SIDEWALK CAFE</b>			
Has the applicant/owner(s) read MCB 4 Rear Yard Rooftop Policy?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant use any outdoor spaces: rooftop, rear yard, patio, porch, balcony, pavilion, tents, deck or gazebo? If yes, which one(s)?	<input type="checkbox"/> YES	<input type="checkbox"/> NO	Rooftop currently exists
Are the floorplans for the outdoor space(s) included?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant close and vacate the outdoor space(s) by 11PM on Friday & Saturday and 10 PM on all other days?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will the service and consumption of alcohol in any outdoor space only be via seated food service?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant not allow standing space for patrons to drink or smoke in any outdoor space(s)?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
Will there be no amplified music, as per the law?	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	
If amplified sound is played inside the establishment, will windows and doors be closed?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant agree to post signs outside asking customers to respect the neighbors'?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Currently exists
Will applicant agree to train staff to encourage a peaceful environment?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	
Will applicant provide effective sound control (landscaping enclosure, soundproofing tenants apartments)	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Currently exists
Will there be a lighting plan that allows safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	Currently exists

<b>OUTDOOR ITEMS – SIDEWALK CAFÉ</b>		
Has the applicant/owner(s) read MCB4 Sidewalk Café Policy?	<del>YES</del>	NO
Will applicant be applying for a sidewalk café now or in the future?	YES	<del>NO</del>
Is applicant in this application seeking to include a sidewalk café in its liquor license?	YES	<del>NO</del>
If yes, has applicant submitted an application and plans to NYC Dept. of Consumer Affairs? Please attach application and plans.	YES	NO
Will applicant close and vacate the sidewalk café by 11 PM on Friday & Saturday and 10 PM on all other days?	YES	NO
Will applicant be serving alcohol in the sidewalk café? If so, will you have waiter service?	YES	NO
Will the café have a 3 ft. wide serving aisle running the entire length of the sidewalk cafe?	YES	NO
Will applicant mark the perimeter of the café on the sidewalk?	YES	NO
Will the service and consumption of alcohol in the sidewalk café only be via seated food service?	YES	NO
Will the sidewalk café not provide standing space for drinking or smoking?	YES	NO
Will applicant use any portable natural gas heaters? If so, do you have the requisite approvals from DOB & the Fire Department?	YES	NO
Will applicant have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	YES	NO
Will all furniture, plants and barricades be stored inside between the evening closing hours and the morning opening hours?	YES	NO
Will all furniture be stored inside between December 21 <sup>st</sup> and March 21 <sup>st</sup> , and any other day when it rains or snows?	YES	NO
Will applicant use umbrellas?	YES	NO
If construction or construction protection has reduced the sidewalk width, will applicant always maintain an 8 foot clear path of sidewalk between the perimeter of the café and the closes obstruction including construction barricades?	YES	NO

**ADDITIONAL STIPULATIONS: (Office Use Only)**

*To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.*

**ADDITIONAL STIPULATIONS: (Office Use Only), *Continued***

- Stipulations from letter dated 5/14/10 (attached) and application dated 11/12/13 remain in effect

***To the extent any additional stipulation on pages 7 and 8 of this application conflicts with any response on pages 1 – 6 of this application, the stipulations on pages 7 and 8 control.***

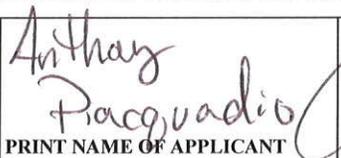
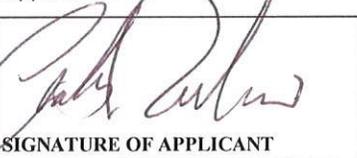
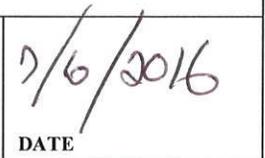
Manhattan Community Board 4 (MCB4) recommends:	<input checked="" type="radio"/> Denial unless all stipulations agreed to by applicant/owner are part of the method of operation <input type="radio"/> Denial <input type="radio"/> Approval
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**CB4 REPRESENTATIVES**

 <b>Nelly Gonzalez</b> <i>CB4 Assistant District Manager</i>	 <b>Frank Holozabiec</b> <i>CB4 BLP Committee Co-Chair</i>	 <b>Burt Lazarin</b> <i>CB4 BLP Committee Co-Chair</i>
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**APPLICANT AGREEMENT WITH THE COMMUNITY**

Applicant agrees to these stipulations as the basis for the community support of this application and acknowledges that all of these stipulations are essential prerequisites to the MCB4 recommendation regarding this application. Applicant agrees to have these stipulations incorporated in the method of operation of its liquor license. The stipulations in this application constitute the entire agreement between MCB4 and applicant and may only be altered in writing signed by MCB4 and applicant. These stipulations supersede any oral statements or representations in connection with this application.

<b>SIGN HERE</b> →	 <b>Anthony Piacquadio</b> <small>PRINT NAME OF APPLICANT</small>	 <small>SIGNATURE OF APPLICANT</small>	 <small>DATE</small>
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**Manhattan Community Board 4**  
(All Fields Must Be Completed)

Liquor License Stipulations Application

APPLICANT <i>Eden Ballroom LLC</i>		DOING BUSINESS AS (DBA) <i>Space NY</i>		
STREET ADDRESS <i>637 West 50th Street</i>		CROSS STREETS <i>B/n 11th &amp; 12th Avenues</i>		
OWNER	NAME: <i>Anthony Pirquadio</i>	ATTORNEY	NAME: <i>Frank Pelillo</i>	
	PHONE: <i>(917) 565-5226</i>		PHONE: <i>(212) 227-1640</i>	
	FAX:		FAX: <i>(212) 349-1724</i>	
MANAGER	NAME: <i>Morgan McLeen</i>	LANDLORD	NAME: <i>John Petrucci</i>	
	PHONE: <i>(212) 956-2723</i>		PHONE: <i>(212) 262-6063</i>	
	FAX:		FAX:	
DESCRIPTION OF BUSINESS				
Establishment Type:	<input type="radio"/> Bar/Tavern <input type="radio"/> Bed & Breakfast <input type="radio"/> Eating Place <input checked="" type="radio"/> Cabaret <input checked="" type="radio"/> Night Club <input type="radio"/> Hotel <input checked="" type="radio"/> Restaurant <input type="radio"/> Catering Establishment <input type="radio"/> Club (Fraternal Organization - Members Only) <input type="radio"/> Other (Explain): _____			
Method of Operation:	<input checked="" type="radio"/> Restaurant <input checked="" type="radio"/> Dance Club <input type="radio"/> Sports Bar <input type="radio"/> Adult Entertainment <input type="radio"/> Wine Bar <input type="radio"/> Pizzeria <input type="radio"/> Cafe <input type="radio"/> Other (Explain): _____			
License Type:	<input checked="" type="radio"/> On-Premise <input type="radio"/> Wine <input type="radio"/> Beer <input type="radio"/> Wine & Beer			
APPLICATION TYPE (check one)	<input checked="" type="radio"/> New	Has applicant owned or managed a similar business?	YES	<input checked="" type="radio"/> NO
		What is/was the name of establishment?	<i>?</i>	
		What is/was the address of the establishment?		
		What were the dates the applicant was involved with this former premise?		
	<input type="radio"/> Transfer	What is the prior license #?		
		What is the expiration date on the prior license?		
		Are you making any alterations or operational changes?	YES	NO
		If alterations or operational changes are being made, please attach the plans to this form.		
	<input checked="" type="radio"/> Alteration	What is the current license #?	<i>1072794</i>	
		What is the expiration date on the current license?	<i>(lic pending)</i>	
Please describe the nature of the alterations and attach the plans <i>Remove west side section + add rooftop</i>				

OPERATIONAL ISSUES										
HOURS		MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY		
	Operation									
	Music	AS PER THE ATTACHED STIPULATION								
	Kitchen									
OCCUPANCY	INDOOR				BAR			OUTSIDE		
	Capacity (Certificate of Occupancy)	Maximum # of Persons You Anticipate Occupying Premises (Including Employees)	Number of Tables	Number of Seats	Number of Service Only Bars	Number of Stand-Up Bars	Number of Seats at Bars	Number of Seats	Number of Tables	
	1390	1390	45	231	0	4	42	115	23	
How many floors are there? What is the capacity for each floor? (please respond in space provided)					1-2	34	5			
Will you be applying or intending to apply for a cabaret license? If yes, will there be dancing? (please respond in space provided)					YES	NO	N/A			
Will applicant have bottle service?					YES	NO	N/A	undecided		
Will you be hosting private parties and promotional events?					YES	NO	N/A	occasionally		
Will outside promoters be used?					YES	NO	N/A			
Will the security plan submitted be implemented?					YES	NO	N/A			
Will State certified security personnel be used?					YES	NO	N/A			
Will New York Nightlife Association recommendations and NYPD Best Practices be followed?					YES	NO	N/A			
Will the applicant be using delivery bicycles? If yes, have you applied to DOT for bicycle rack? Delivery bicycles are to be clearly marked with the name of the restaurant and staff will wear attire clearly noting name. (please respond in space provided)					YES	NO	N/A			
Will the applicant be applying for a Sidewalk Cafe now or in the future? (please respond in space provided)					YES	NO	N/A			
If yes to the above, are plans attached and submitted to DCA? How many tables/seats? (please respond in space provided)					YES	NO	N/A			
Will applicant provide contact information to neighbors and respond to complaints that arise?					YES	NO	N/A			
Will you inform the Community Board office of your job openings and/or provide a hyperlink to your jobs webpage?					YES	NO	N/A			
If you plan to have music, what type(s)?					BACKGROUND	LIVE MUSIC	DJ	Popular Contemporary		
BUILDING DESIGN										
Doors and windows will be closed when any amplified music is played and in the event of no amplified sound, will be closed by 11 PM Friday and Saturday and 10 PM on all other days.					YES	NO	N/A			
Will applicant follow the recommendations of a certified sound engineer to mitigate potential noise disturbance to the neighboring residents and buildings, including placing speakers on the floor of the establishment?					YES	NO	N/A			
Do you agree to comply with DOB rules concerning a storm enclosure? Storm enclosures can be used between November 15 and April 15, but they may NOT project more than 18 inches from the store front.					YES	NO	N/A			

OUTDOOR ITEMS				
Will applicant use the rooftop, rear yard or any outdoor space?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	Retractable Rooftop
If yes to the above, the rear yard, rooftop, and any outdoor space will be closed and vacated by 11 PM on Friday & Saturday and 10 PM on all other days.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	
The service and consumption of alcohol in the rear yard, on the rooftop, or in any other outdoor space will be only via seated food service.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	
The rear yard, rooftop, and any other outdoor space will not allow standing space for patrons to drink or smoke.	<input type="radio"/> YES	<input type="radio"/> NO	<input checked="" type="radio"/> N/A	Dance Floor
Applicant will do everything in their power to provide an effective sound baffling or sound controlled environment through landscaping or some type of enclosure, where possible; provided they do not violate any fire or building code regulations? This includes possibly working with landlords for soundproofing tenents apartments (such as installing soundproofing windows, acoustical tiles, etc.).	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	
Applicant will enforce a quiet environment in the outdoor space, so as not to disturb nearby residents (e.g. there will be no amplified music, as per the law, and windows and doors to areas that play amplified music shall be closed). The applicant will make every effort possible to limit the noise emanating from diners by posting signs outside and also on menus asking for respect of the neighbors privacy and peace. The staff will also encourage a peaceful environment amongst the outdoor diners.	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	
Applicant will have a lighting plan that will allow safe usage of the outdoor space without disrupting neighbors?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	

LOCATION & ZONING				
Primary Zoning District	M-2-4	Overlay (If Applicable):	N/A	
Is this a Special District? If yes, is it Clinton, West Chelsea or Hudson Yards?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	<input type="radio"/> N/A	
Does the building have a Certificate of Occupancy ("C of O") or a letter of no objection?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	currently being amended
Is the 500 Foot Rule or 200 Foot Rule Triggered? If yes, which? Please attach a diagram of the establishments that triggers the rule.	<input type="radio"/> YES	<input checked="" type="radio"/> NO	<input type="radio"/> N/A	
Is a Public Assembly permit required?	<input checked="" type="radio"/> YES	<input type="radio"/> NO	<input type="radio"/> N/A	
Are your plans filed with DOB?	<input type="radio"/> YES	<input checked="" type="radio"/> NO	<input type="radio"/> N/A	
Building Type	<input type="radio"/> Residential <input checked="" type="radio"/> Commercial <input type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____			
Adjacent Buildings	<input type="radio"/> Residential <input checked="" type="radio"/> Commercial <input type="radio"/> Mixed Use <input type="radio"/> Other, describe: _____			
NOTIFICATION: What organizations / community groups have you notified regarding your application?	# 1			
	# 2			
	# 3			

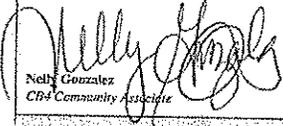
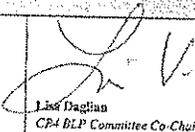
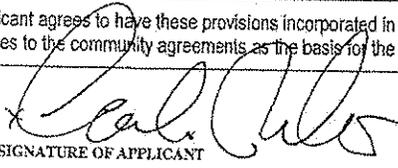
**ADDITIONAL INFORMATION: (Applicant Use)**

**ADDITIONAL NOTES: (Office Use Only)**

ADDITIONAL STIPULATIONS: (Office Use Only)

- increase capacity by 147 ppl.
- amplified sound <sup>rooftop</sup> when windows open
- no music when windows open
- East wall will be fixed, non-openable.
- rooftop enclosure will close at 10PM
  - space will remain in use
- will follow recommendation of sound report.
  - limiter - sound will be controlled by sound engineer on-site
- will address complaints as they arise.
  - employees will be directed to do same
- if after repeated complaints it is not possible to address concerns, will reconsider use of outdoor space.



Manhattan Community Board 4 (MCB4) recommends:		<input type="radio"/> Approved <input checked="" type="radio"/> Denial unless all agreed to by applicant is part of the method of operation <input type="radio"/> Denial
<b>CB4 REPRESENTATIVES</b>		
 Nelly Guzzalez CB4 Community Associate	 Lisa Daglian CB4 BLP Committee Co-Chair	 Yada Seres CB4 BLP Committee Co-Chair
<b>APPLICANT AGREEMENT WITH THE COMMUNITY</b>		
Pursuant to these stipulations, this applicant agrees to have these provisions incorporated in the method of operation of their liquor license. Additionally, the applicant agrees to the community agreements as the basis for the community supporting this application.		
SIGN HERE →	 SIGNATURE OF APPLICANT	11-12-13 DATE

\* Paul Seres Voted PNE



JOHN WEIS  
Chair

ROBERT J. BENFATTO, JR., ESQ.  
District Manager

CITY OF NEW YORK  
MANHATTAN COMMUNITY BOARD FOUR  
330 West 42<sup>nd</sup> Street, 28<sup>th</sup> floor New York, NY 10036  
tel: 212-736-4536 fax: 212-647-9512  
[www.nyc.gov/mcb4](http://www.nyc.gov/mcb4)

May 14, 2010

Dennis Rosen  
Chairman  
New York State Liquor Authority  
84 Holland Avenue, 2nd floor, A-Wing  
Albany, NY 12208

Re: Eden Ballroom LLC  
637 West 50<sup>th</sup> Street (11<sup>th</sup>/12<sup>th</sup>)

Dear Chairmen Rosen:

Manhattan Community Board 4 (MCB4) recommends denial of a new full liquor license for Eden Ballroom LLC, unless the following stipulations, agreed to by the applicant, are part of their method of operation:

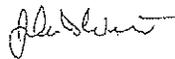
- 1) Hours of operation for serving alcohol in lounge and upstairs dance floor will be no earlier than 5:00 pm and no later than 4:00 am, 7 days per week.
- 2) Hours of operation for café will be 24 hours per day but alcohol will be served no earlier than 8:00 am and no later than 4:00 am, 7 days per week and will be within the hours legislated by the NY SLA.
- 3) The establishment will have a total capacity of no more than 1,240 with no more than 38 tables and 250 seats. Total capacity of the 24 hour café is 74, located on the ground floor. Total capacity of the lounge, located on the ground floor, is 266. Total capacity of the night club upstairs is 900.
- 4) There will be no more than three standing only bars in the establishment. One located in the lounge on the ground floor and two located upstairs in the nightclub.
- 5) The applicant agrees to never use outside promoters.
- 6) The applicant will not distribute advertisement fliers around the exterior of the establishment.

- 7) The applicant agrees to employ 25 New York licensed guards and will use between 15-25 during hours of operation of the lounge and nightclub, dependent upon the size of the crowd.
- 8) The applicant agrees to follow the best practices as outlined by the New York Nightlife Association which was developed in cooperation with the New York City Police Department.
- 9) A certified soundproofing engineer will recommend and implement soundproofing. The recommendations of the sound engineer include, but are not limited to, decibel restrictors/controls and sound absorbing material. A copy of the full report will be submitted with the application and is attached to this letter. A double door entry way will be employed to minimize sound escaping from the establishment.
- 10) To ensure that neighbors are not negatively impacted by sound emanating from the sidewalk in front of the establishment due to the gathering of people, the applicant's security personnel will monitor the area and encourage patrons to either enter the establishment or leave the area.
- 11) There will be absolutely no use of delivery bikes.
- 12) Only soft background music will be played in café and lounge and all doors and windows will be kept closed when music is being played. The night club will have a dj and also live music. Applicant has stated they will not allow hip hop music. The applicant further stated they will not allow events that attract a dangerous element to the neighborhood.
- 13) There will be no French doors or windows that open to the street front.
- 14) Kitchen exhaust will exit through ventilation above the highest floor of surrounding buildings and be constructed in a manner to not disturb neighboring residents or offices. Additionally it will be compliant with NY DOB code.
- 15) Applicant will never install a storm vestibule enclosure as they have the double door 'soundtrap' vestibule.
- 16) The applicant will proactively clean the sidewalk and area immediately outside of the establishment and club-related trash on neighboring properties.
- 17) No outdoor sidewalk space will be used for queuing of patrons waiting to enter the establishment. Applicant stated queuing will occur inside so there will be no velvet rope lines.
- 18) The applicant will make a concerted effort to hire employees from the community.

- 19) Applicant will provide 24 hour contact details to CB4 and pertinent community representatives.
- 20) Applicant will arrange for representatives to regularly attend Precinct Council, Block Association and Community Board meetings to address and resolve any community problems that may arise from this establishment.
- 21) There will be no use of any outdoor spaces (rooftop, patio or sidewalk café) at this time for the sale or consumption of alcoholic beverages.
- 22) The applicant is simultaneously applying to the NYCDCA to obtain a cabaret license which will be incorporated into their method of operation of the liquor license. The cabaret license will only permit dancing in the upstairs night club section of the establishment.

Eden Ballroom LLC has not yet determined the name of its establishment. The complex will consist of the café and lounge on the first floor and the night club (cabaret) on the second floor. The applicant has stated they have designed the café into the facility to control the number of patrons exiting at one time by providing a post closing venue. Entrance to the lounge and nightclub will be on West 50<sup>th</sup> Street with the café entrance located on the corner of West 50<sup>th</sup> and Westside Highway. A signed copy of the stipulations agreed to by the applicant is enclosed.

Sincerely,



John Weis  
Chair  
Manhattan Community  
Board 4



John Owens  
Co-Chair  
Business License & Permits  
Committee - North



Chuck Spence  
Co-Chair  
Business License & Permits  
Committee - North

# ACOUSTILOG INC.

19 Mercer Street, NY, NY 10013 (212) 925-1365 Fax: (212) 966-4216 www.acoustilog.com

October 22, 2013

Mr. Antonio Piacquadio  
Eden Ballroom LLC  
DBA: Space New York  
637 West 50th Street  
New York, NY 10018

Re: Rooftop Music and Voice Noise

Dear Mr. Piacquadio,

I have studied the noise issues at the above premises. You have asked me to make recommendations to prevent noise disturbances from music and voices on your rooftop.

## SUMMARY

You are constructing a glass-enclosed penthouse and outside terrace. The large distance from nearby residences, the constant traffic noise, and the design of your facility will keep sound levels within Noise Code limits. I have provided sound-control recommendations to protect the neighbors.

## TEST AND INSPECTION

The nearest residential building is at 621 West 51st Street, 234 feet from the rooftop center.

There will be small speakers playing background music on the rooftop, and no subwoofers.

I inspected the rooftop and your building plans, and then performed calculations to determine the sound level of your customers' voices at the nearest residential dwelling.

I also have determined the maximum level of music sound levels which you can play on your rooftop, again performing calculations to estimate the sound level at the neighbors' apartments.

These levels were then compared to measured outdoor ambient noise levels for the area.

## DBA VS ONE-THIRD OCTAVE BAND MUSIC LEVELS

One way that the sound levels were measured was using the A-weighting decibel scale. The dB (A) decibel scale (see Noise code Section §24-231 a1) is the most common type of sound measurement, which represents an overall measurement of all frequencies, but with a strong tendency to ignore the low-frequency "bass" sounds. The A-weighted decibels require only a simple sound level meter to measure them. They are shown in the dBA column on the right-hand side of frequency graphs. dBA is what the City DEP inspectors use, and they normally consider anything above 42 dBA to be unreasonable.

The C-weighted decibels or dBC (see Noise code Section §24-231 a3) are also an overall measurement of all frequencies, but this measurement includes the important low frequency "bass" sounds. However, dBC readings pick up so many frequencies at the same time that they usually do not distinguish between normal background noise and music beats.

One-third octave band sound level (see Noise code Section §24-231 a2) readings were also taken, which are measured in decibels, or dB. The frequencies below 200 Hertz sounds are called bass or low frequencies, which sound like thumping or vibration. This range of low frequencies is addressed in the Noise Code regulations and is the sound most likely to cause neighbor complaints. Bass and drums usually cause sounds in these frequency ranges. These sounds require a complex spectrum analyzer to measure them. The loudest sounds produced by the music are in the low frequencies. The low frequency bands are shown on the left-hand side of frequency graphs, while the middle and high frequencies are in the middle and on the right-hand side respectively.

The following Noise Code provisions were considered:

#### **THE NOISE CODE - MUSIC**

##### *§24-231 Commercial music.*

*(a) No person shall make or cause or permit to be made or caused any music originating from or in connection with the operation of any commercial establishment or enterprise when the level of sound attributable to such music, as measured inside any receiving property dwelling unit:*

*(1) is in excess of 42 dB(A) as measured with a sound level meter; or*

*(2) is in excess of 45 dB in any one-third octave band having a center frequency between 63 hertz and 500 hertz (ANSI bands numbers 18 through 27, inclusive), in accordance with American National Standards Institute standard S1.6-1984; or*

*(3) causes a 6 dBC or more increase in the total sound level above the ambient sound level as measured in decibels in the "C" weighting network provided that the ambient sound level is in excess of 62 dBC.*

#### **THE NOISE CODE - UNREASONABLE NOISE**

*§24-203 General definitions. When used in the New York city noise control code the following terms shall have the following meanings:*

*(62) Unreasonable noise means any excessive or unusually loud sound that disturbs the peace, comfort or repose of a reasonable person of normal sensitivities, injures or endangers the health or safety of a reasonable person of normal sensitivities or which causes injury to plant or animal life, or damage to property or business.*

##### *§24-218 General prohibitions.*

*(a) No person shall make, continue or cause or permit to be made or continued any unreasonable noise.*

*(b) Unreasonable noise shall include but shall not be limited to sound, attributable to any device, that exceeds the following prohibited noise levels:*

*(1) Sound, other than impulsive sound, attributable to the source, measured at a level of 7 dB(A) or more above the ambient sound level at or after 10:00 p.m. and before 7:00 a.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.*

*(2) Sound, other than impulsive sound, attributable to the source, measured at a level of 10 dB(A) or more above the ambient sound level at or after 7:00 a.m. and before*

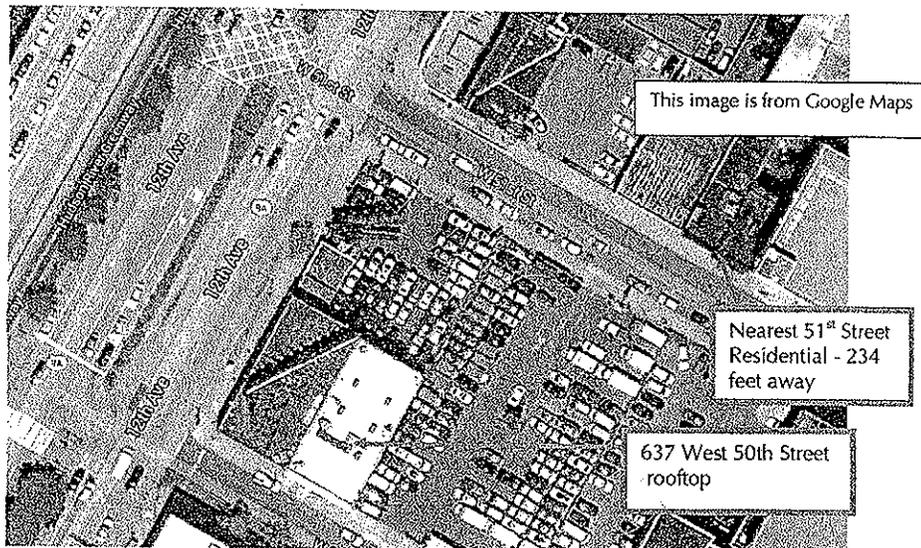
10:00 p.m., as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way.

(3) Impulsive sound, attributable to the source, measured at a level of 15 dB(A) or more above the ambient sound level, as measured at any point within a receiving property or as measured at a distance of 15 feet or more from the source on a public right-of-way. Impulsive sound levels shall be measured in the A-weighting network with the sound level meter set to fast response. The ambient sound level shall be taken in the A-weighting network with the sound level meter set to slow response.

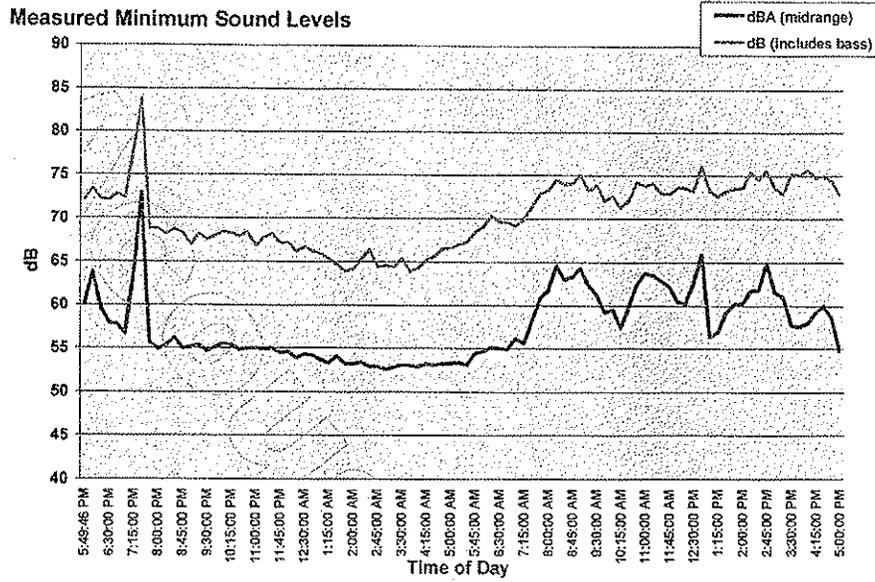
#### ANALYSIS

I have estimated the rooftop's contribution to the noise level at the neighbors. Due to the long distance to the neighbors, the sound levels are below all of the Code requirements.

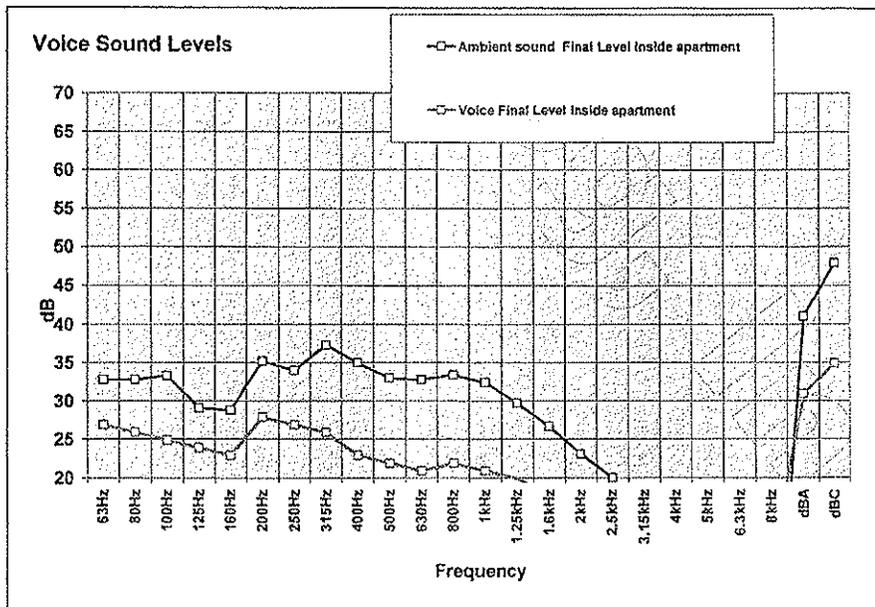
This is illustrated on the map and graphs below.



The minimum sound level outside of 621 West 51st Street was 52.6 dBA and / 63.9 dBZ between 3:00 - 3:45 AM, based on readings taken on the night of Thursday, October 17, 2013 and scaled to properly show the levels at that location. The difference between the two readings is that the dBZ reading includes the bass sounds of traffic, which is predominantly frequencies in the 31 - 100 Hertz range. This is shown on the graph below.

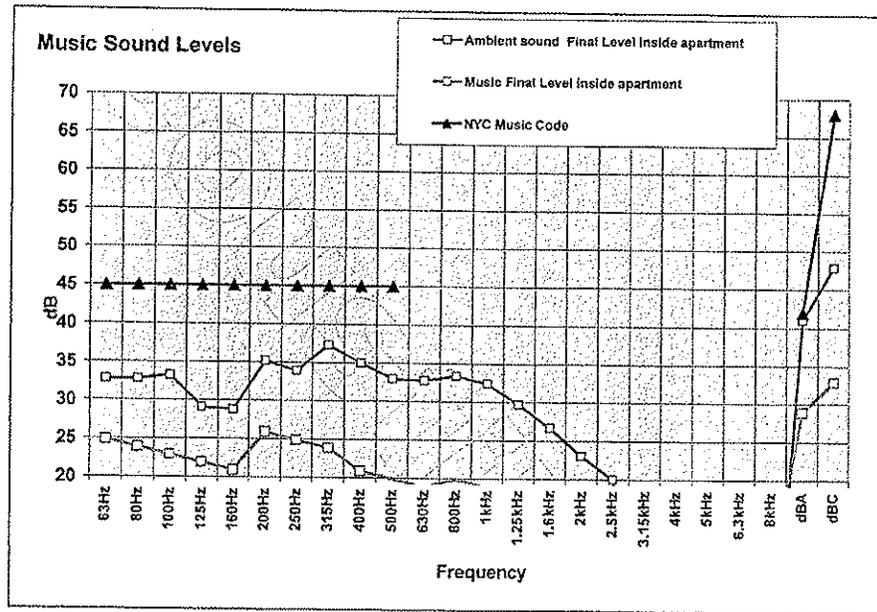


The graph below shows that noise from voices, based on 200 people on the roof terrace, will be within Code levels, because it will be lower than the ambient noise, even with the windows open.



In order to meet Code requirements, the sound must not exceed the ambient by 7 or 10 decibels (night/day). Since the sound will be below the level of ambient noise, it will certainly not exceed it by 7 or 10 decibels.

The graph below shows the music calculations. This is based on a controlled music level of 79 dBA and 87 dBC measured 3 feet from any outdoor speaker (8 small speakers should be used). There are two considerations here: the 45 decibel limit for bass sounds and the 42 dBA limit for midrange sounds.



The music will meet Code requirements because the music will be below both of these decibel limits, and because the music will also be below the ambient noise level, just like the voices. Again, this was calculated using the 234 foot distance to the closest residences to show the worst case scenario.

The doors leading to the roof should not be propped open. To comply with the Code, the sound level inside the premises will also have to be controlled as described in the recommendations.

### RECOMMENDATIONS

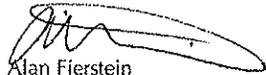
1. You will be installing a barrier on the parapet wall facing north and east. However, this is not necessary for noise control.
2. For the outside sound system 8 small outdoor speakers, such as JBL Control 25AV, should be used as a distributed system.
3. Try to keep the speakers no more than 48" above head height, and angled down toward the deck center. Do not use flush-mounted speakers.
4. The system should be set up in stereo. Stereo sounds louder to people without actually increasing the sound level.

5. The sound system will incorporate an equalizer. The equalizer will then feed into a limiter. Both functions can be accomplished with a DBX Driverack PA, which is a deterrent to volume-abusing employees. Installed in the system right before the amplifier and locked with a password, it will prevent the sound system from exceeding a pre-determined sound level, set by the sound installer. If the sound system is turned up too high, the limiter will activate and guarantee that the actual sound never exceeds the desired maximum.
- a. Using the graphic equalizer section, attenuate (lower) all frequencies 125 Hertz and below in order to achieve the sound levels shown below.
  - b. Using the unit's output level control, set the sound level from the small outdoor speakers to 79 dBA and 87 dBC, measured 3 feet from any speaker. The sound installer can do this with a simple Radio Shack sound level meter. Set the meter to read "C", and "Slow". This will be a good starting point from which to operate the sound system.
  - c. To ensure accuracy of the meter, you can bring it my office to be calibrated.
  - d. This unit would be set in conjunction with tests made of noise levels in the apartments.
  - e. Set the Stereo Output Limiters to COUPLE both channels together, which makes the Channel 1 controls affect both channels. The rest of the instructions are thus for the left channel only.
  - f. Set the limiter's Ratio control to infinity, the Peak Stop to off, the Attack and Release time to midway and Auto, Over-Easy to off, and the Threshold control so as to normally limit only 3 decibels during typical music playing. If the music tries to get louder for any reason, the sound will stay at the same volume.
  - g. The amplifiers have to be set to maximum level during this process so they cannot be turned up further at a later time.

If I can be of further assistance, please call.

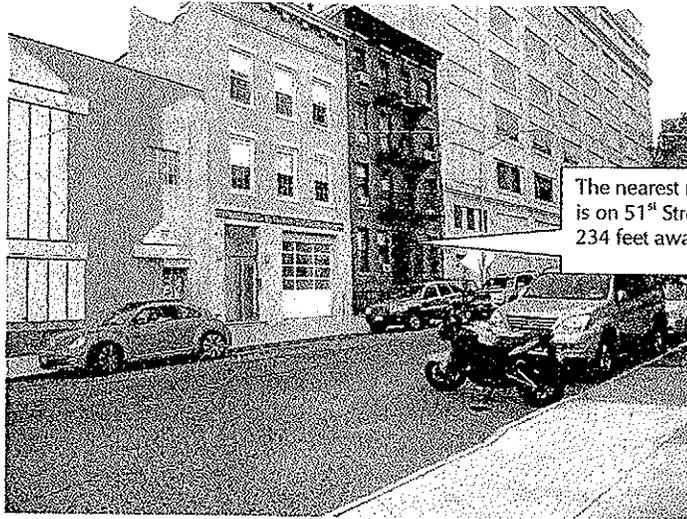
It is strongly recommended that all complicated construction projects get regular inspection visits at critical times, to make sure the system performs properly. This is an optional service which I can provide. All Acoustilog, Inc.-designed information supplied is for the original client and may not be copied in any way for different projects by any architect, consultant, engineer or other party. Copyright 2013 by Acoustilog, Inc.

Yours Truly,



Alan Fierstein  
President  
acoustilog1@verizon.net

*All readings re: .0002 microbar. Readings taken with Bruel & Kjaer 2260/2270 Analyzer, Bruel & Kjaer 4135, 4145, 4165, 4189 or 4190 Microphone, Acoustilog 232A Reverberation Timer. Calibrated to Bruel & Kjaer 4220 Sound Source or Quest CA-15A.*



The nearest residential building is on 51<sup>st</sup> Street, approximately 234 feet away.





Delivering Sound Excellence



**Outdoor Speakers**

- › Rock
- › Sound n Light
- › Mushroom
- › Cane n Sound
- › Prithvi

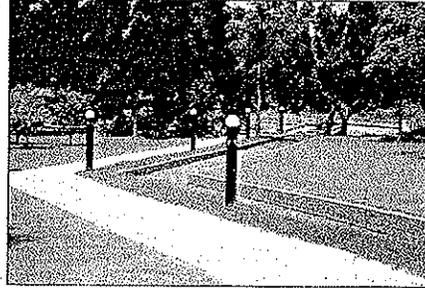
**Other Products**

- › Speakers
- › Home Theatre systems
- › Ceiling Speakers
- › Voice Coils
- › Amplifiers
- › Audio measuring equipments

**Products**

**SOUND N LIGHT**

Sound n Light Column Speaker system with Integrated Two Way Co-axial Speaker with P.P. cone, provides excellent sound. A Hyperbolic Radiating cone directly below the speaker provides equal horizontal distribution of the sound in 360 degree. upto a very large area. Symmetrical sound and light coverage allows usage in large areas, to provide aesthetically pleasing ambience outdoors as well as indoors. Available in a variety of colours of your choice.



**Construction**

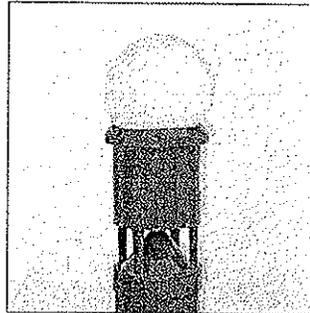
Outer shell is cast Aluminum with U.V. resistant powder / P.U. coating of your colour choice, guaranteed for a min. of three years. The driver is a two-way co-axial speaker system with Poly Propylene Cone, Aluminum Voice Coil, Powder Coated Chassis, built to withstand rain, humidity, heat, dust etc. of the outdoors. Guaranteed to provide uninterrupted sound in any conditions outdoors. An optional 100V line-matching transformer can be provided for multiple installations.

The light source is a branded 18 W CFL coupled with an electronic ballast to avoid any electrical noise.

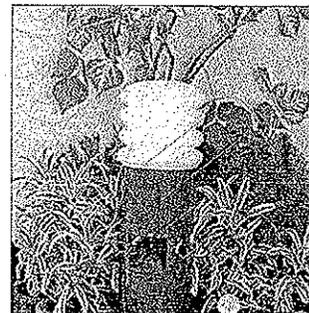
The unit is mountable on a heavy-duty metal pipe of any required height. This pipe is grouted in the ground or can be mounted on a suitable base. Additional PVC pipe covers this metal pipe for purpose of aesthetics as well as to provide security against theft.

**Specifications**

**Moonlight & Ringlight**



**Moonlight**



**Ringlight**

- Speakers: 6 inch Two Way Co-axial with P.P.Cone.
- Power Handling: 15 W RMS
- Lamp: 18 W 230V CFL
- Dia.: 175 mm X H 460 mm
- Weight: 4.5 kgs

**Suspended**



Delivering Sound Excellence



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**Outdoor Speakers**

- › Rock
- › Sound n Light
- › Mushroom
- › Cane n Sound
- › Prithvi

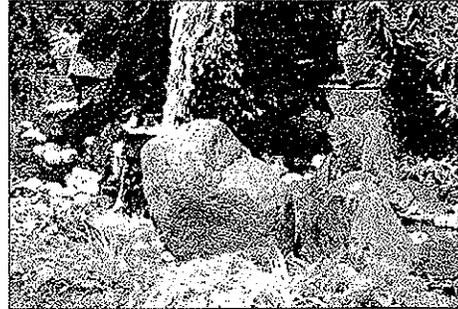
**Other Products**

- › Speakers
- › Home Theatre systems
- › Ceiling Speakers
- › Voice Coils
- › Amplifiers
- › Audio measuring equipments

**Products**

**ROCK**

Moulded in FRP, replicating natural rock shapes to unbelievable extent. Capable of providing Hi Fidelity music in various outdoor locations such as Gardens, Swimming Pools, Walkways etc. Can be made to merge in any natural surroundings. Designed to withstand all outdoor conditions of heat, rain humidity etc, hence very convenient for outdoor installations.

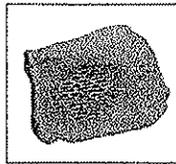


**Construction**

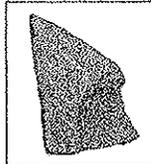
Highly durable and strong FRP moulded shell. Carefully textured and coloured to look like any natural rock. The Speaker is weather proof, made with P.P.Cone, Aluminum Voice Coil, and Powder Coated Chassis so as to withstand any conditions outdoors. Also available in colours of your choice.

**Specifications**

**Small Rocks: Baby Rock I & II**



Baby rock I



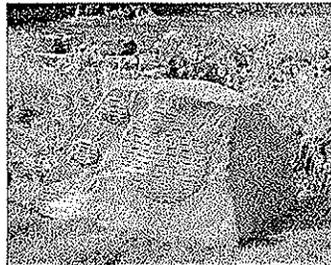
Baby rock II

**Speakers:** One 4 Inch Co-axial Weatherproof speaker with P.P.Cone.

**Power Handling:** 10 Watts RMS

**Size:** L 250 mm X W 200 mm X H 300 mm.

**Big Rocks: Mercury & Venus**



**Mercury**

**Venus**

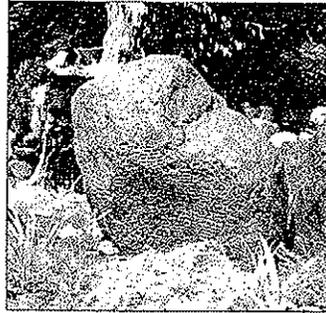
**Speakers:** One 8 Inch weather proof HI-Q Speaker with P.P. Cone  
One 4-Inch midrange with P.P.Cone  
One 3-Inch Tweeter with Mylar Cone  
All above Speakers with Aluminum Voice Coil and Powder Coated Chassis

The speakers are connected through 12 db 3 Way cross over for good frequency separation and clear quality sound.

**Power Handling:** 30 Watts RMS

**Size:** Mercury: L 600 mm X W 300 mm X H 300 mm.  
Venus: L 700 mm X W 400 mm X H 500 mm.

**Big Rocks: Mars**



**Mars**

**Speakers:** Two 8 Inch Weather proof HI-Q Speakers with P.P. Cones.  
One 4 Inch midrange with P.P.Cone  
One 3 Inch Tweeter with Mylar Cone.  
All above Speakers with Aluminum Voice Coil and Powder Coated Chassis

The speakers are connected through 12 db 3 Way cross over for good frequency separation and clear quality sound.

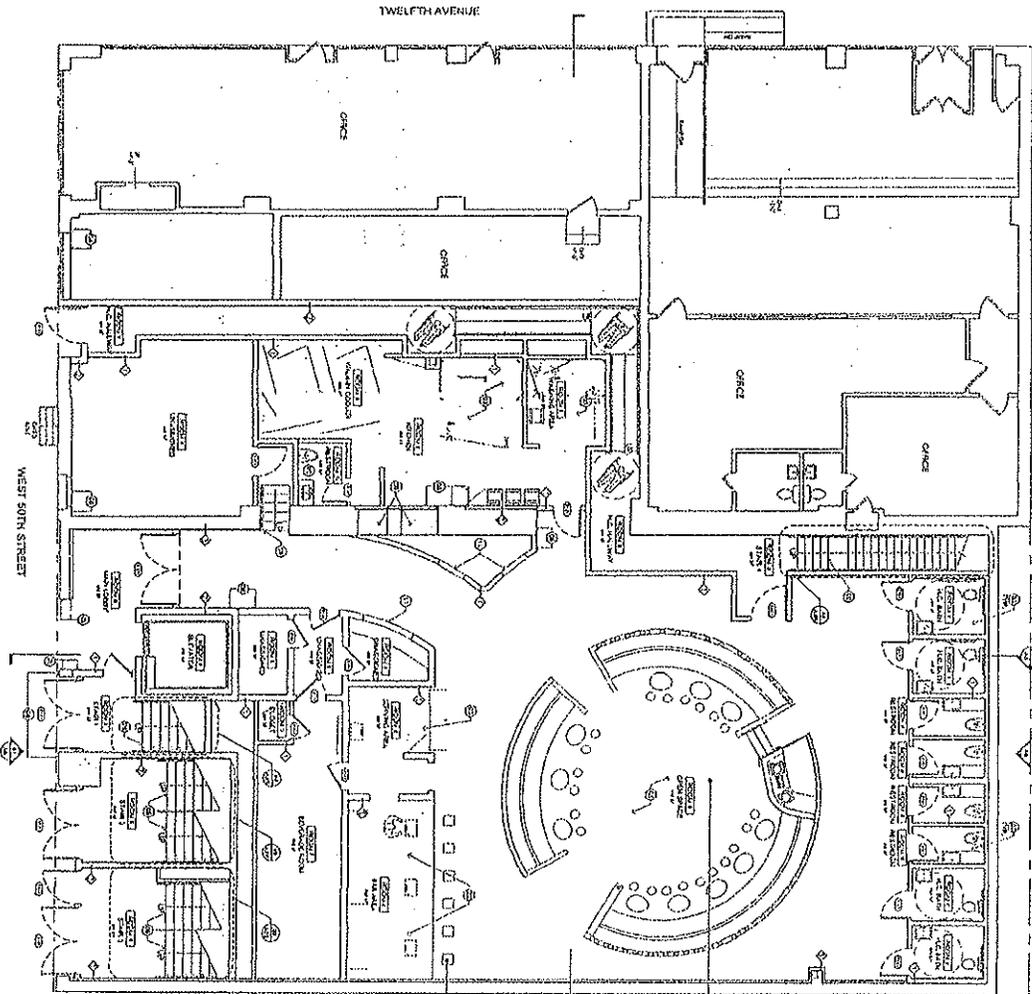
**Power Handling:** 40 Watts RMS

**Size:** L 650 mm X W 400 mm X H 500 mm.

| Top |

EXISTING

PROPOSED FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



11 Tables  
68 Seats

CONSTRUCTION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE ENGINEER BEFORE INSTALLATION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS.

KEYED NOTES

1. REVISIONS SHALL BE INDICATED BY A CIRCLE WITH A NUMBER.
2. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
3. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND THE ENGINEER BEFORE INSTALLATION.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL, STATE AND FEDERAL REGULATIONS.

PARTITION TYPES



NON-FIRE RATED PARTITION WALLS  
1. 1/2" GYPSUM BOARD ON METAL STUDS  
2. 1/2" GYPSUM BOARD ON WOOD STUDS  
3. 5/8" GYPSUM BOARD ON METAL STUDS  
4. 5/8" GYPSUM BOARD ON WOOD STUDS

FIRE RATED PARTITION WALLS  
1. 5/8" GYPSUM BOARD ON METAL STUDS  
2. 5/8" GYPSUM BOARD ON WOOD STUDS  
3. 1" GYPSUM BOARD ON METAL STUDS  
4. 1" GYPSUM BOARD ON WOOD STUDS

GLASS PARTITION WALLS  
1. 1/2" CLEAR GLASS ON METAL STUDS  
2. 1/2" CLEAR GLASS ON WOOD STUDS  
3. 5/8" CLEAR GLASS ON METAL STUDS  
4. 5/8" CLEAR GLASS ON WOOD STUDS

GLASS PARTITION WALLS  
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2. 1/2" CLEAR GLASS ON WOOD STUDS  
3. 5/8" CLEAR GLASS ON METAL STUDS  
4. 5/8" CLEAR GLASS ON WOOD STUDS

A.001.00

ARCHITECT

DATE

SCALE

SHEET TITLE

SHEET NO.

PROJECT NO.

CLIENT

ADDRESS

CITY

STATE

ZIP

PHONE

FAX

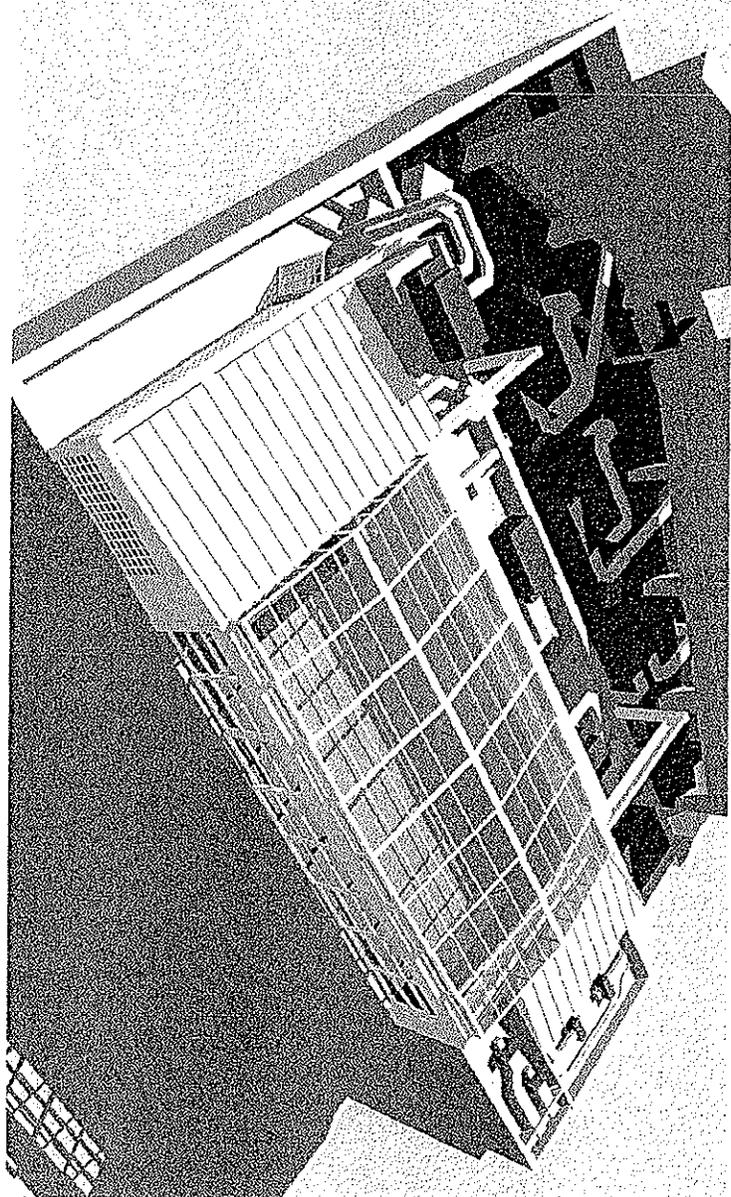
EMAIL

WEBSITE

ADDRESS

CITY





1 CLOSED ROOF  
NOT TO SCALE

DATE: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_  
 SHEET: \_\_\_\_\_

ARCHITECTURAL  
 ARCHITECT



11 BROAD STREET A/C/F/L  
 NEW YORK, NY 10004  
 212-477-1815  
 FAX: 212-724-6424  
 JAC@THEARCHITECTSARCHITECTS.COM

SPACE NYC  
 637 WEST 45 STREET  
 NEW YORK, NY 10018  
 BRUNY/LLP

ROOF ADDITION  
 RETRACTABLE ROOF  
 FOR COMMUNITY MEETING  
 MEETING ON 11/20/13

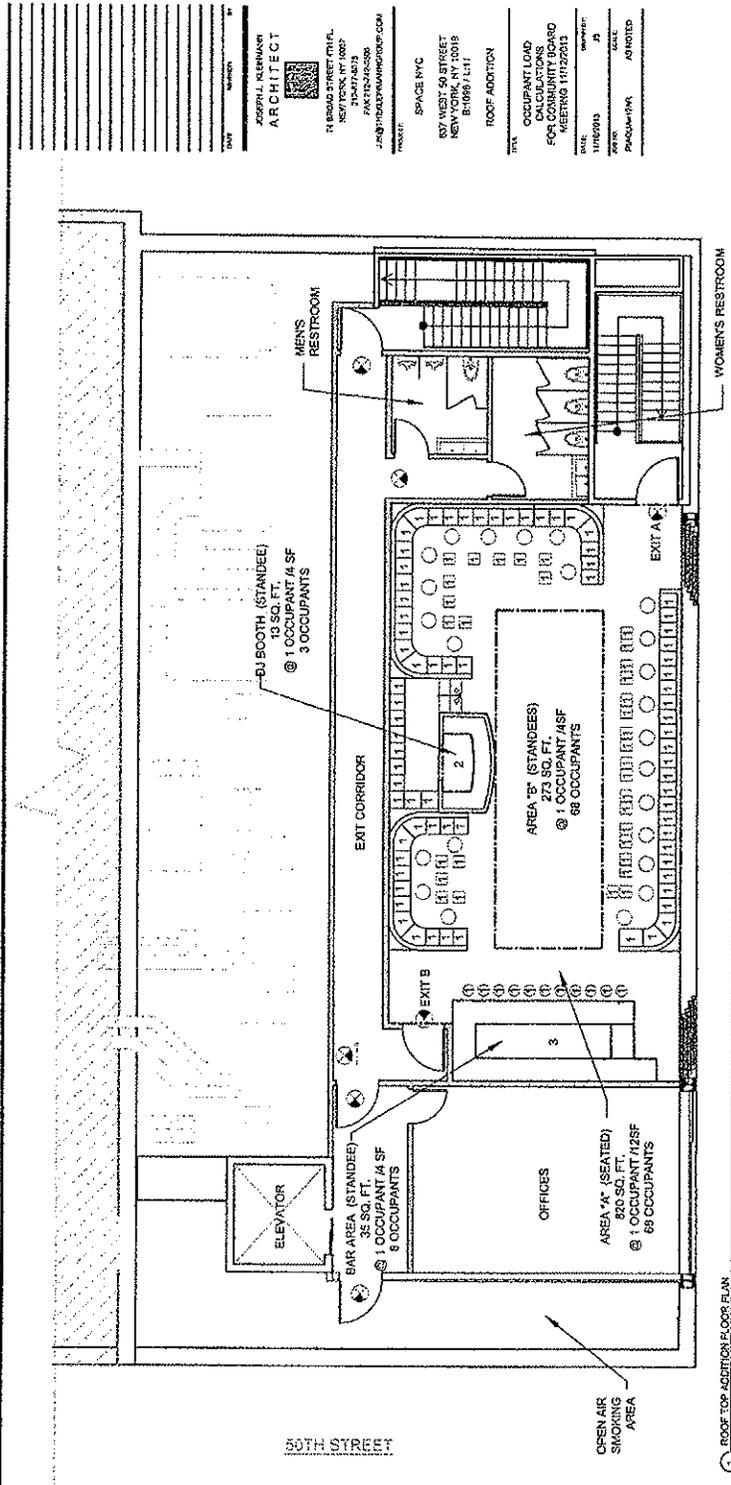
DATE: 11/20/13  
 SCALE: AS NOTED  
 PROJECT: 21M

SK.001.00  
 1 2 3 DATE









JOSEPH J. KERNAN  
ARCHITECT

14 BRAD STREET, 7th FL.  
NEW YORK, NY 10007  
212-697-6375  
JAK@JOSEPHKERNANARCHITECT.COM

PROJECT: SPACE NYC  
637 WEST 50 STREET  
NEW YORK, NY 10018  
E-1089 / L-11

TYPE: OCCUPANT LOAD CALCULATIONS FOR COMMUNITY BOARD MEETINGS (11/19/2013)

DATE: 11/19/2013

SCALE: AS SHOWN

PROJECT: PA.001.00

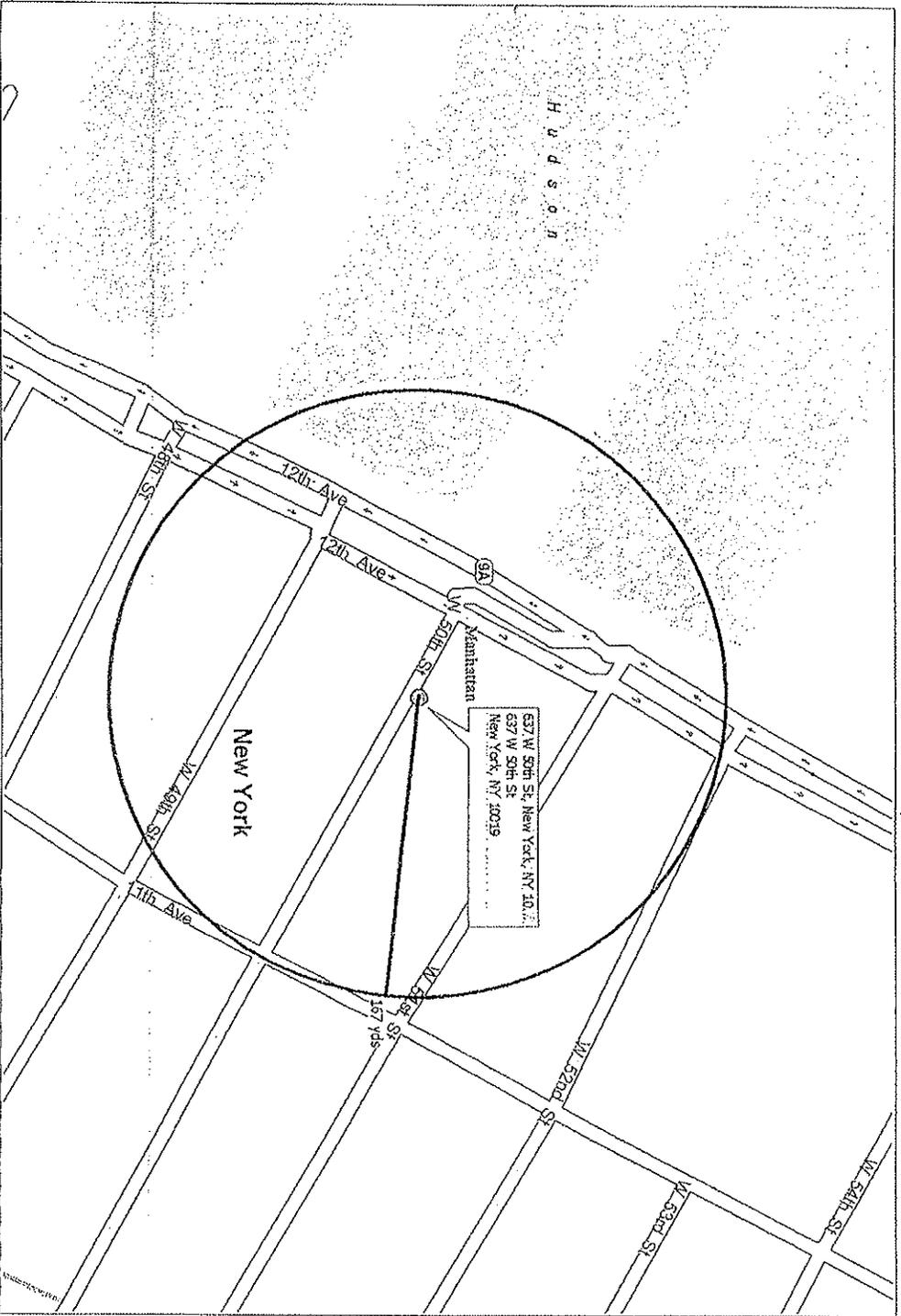
1 OF 3 SHEETS

EXIT OCCUPANT LOAD		
FLOOR	LOCATION	OCCUPANTS
ROOF	EXIT "A"	100
ROOF	EXIT "B"	100
TOTAL ALLOWABLE OCCUPANCY		200

DESIGN OCCUPANT LOAD		
FLOOR	LOCATION	OCCUPANTS
ROOF	AREA "A"	115
ROOF	AREA "B"	50
ROOF	DJ BOOTH	3
ROOF	BAR	3
TOTAL DESIGN OCCUPANT LOAD		171

OCCUPANCY LOAD CHART (AS PER TABLE 6-2)		
FLOOR	LOCATION	OCCUPANTS
ROOF	AREA "A"	68
ROOF	AREA "B"	68
ROOF	DJ BOOTH	3
ROOF	BAR	8
TOTAL OCCUPANT LOAD PER AREA CALCULATIONS		147

637 West 50th Street New York, N.Y.



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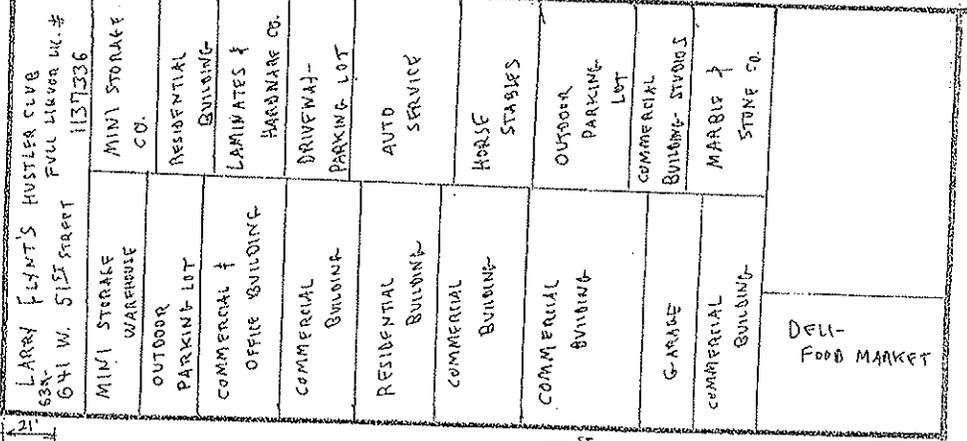
HUDSON RIVER - WEST SIDE PIERS -

12th AVENUE

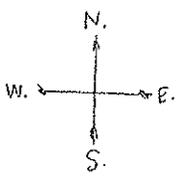
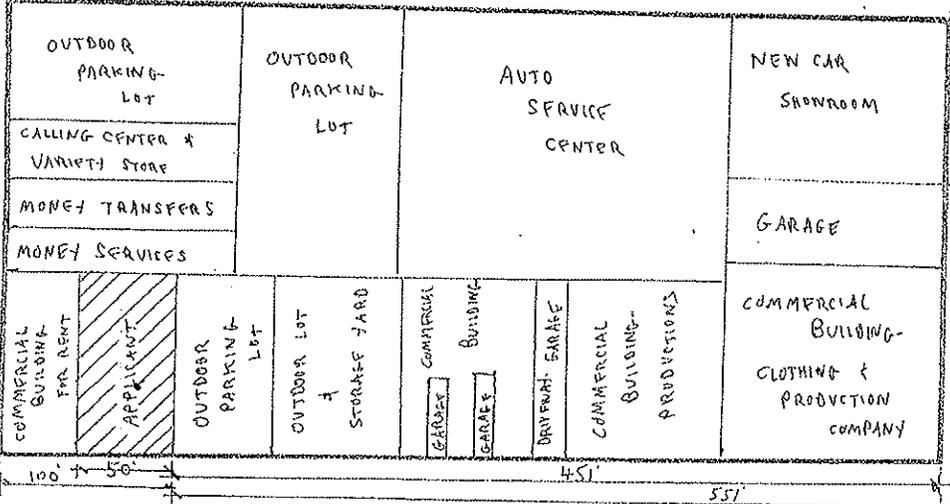
11th AVENUE

DEWITT CLINTON PARK

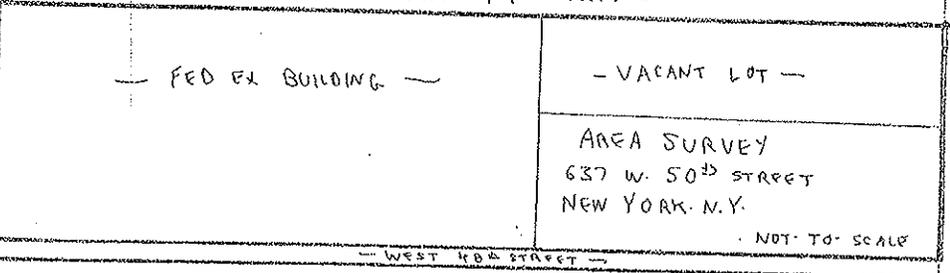
WEST 52nd STREET



WEST 51st STREET



WEST 49th STREET



WEST 48th STREET

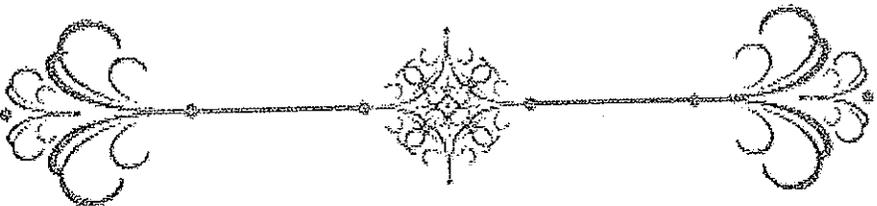
## TAPAS

Almendras & Aceitunas	7
Marcona almonds, mix Spanish olives	
Gambas al Ajillo	10
sizzling shrimp, garlic, hot-red peppers	
Alcachofas Fritas	9
fried artichokes	
Cazuelita de Chorizos	10
sautéed small-spicy chorizo	

### PAELLAS AND FIDEUAS

available for 2 or more people only

Paella Socarrat	\$21/person
chunks of chicken, fish & beef, shrimp, cuttle fish,	
green beans, mussels, cockle clams	
Paella de la Huerta	\$21/person
asparagus, sugar snow peas, artichokes, green beans, mushroom, green zucchini, tomatoes	



Paella Valenciana	\$22/person
chunks of pork rib & rabbit, snails, scallions,	
sugar snow peas, asparagus	

Paella de Pescado & Mariscos	\$23/person
chunks of fish, shrimp, cuttle fish, mussels,	
cockle clams, squid, scallops	

Paella de Carne	\$23/person
chunks of pork, chicken & duck, chorizo,	
mushroom soffrito	

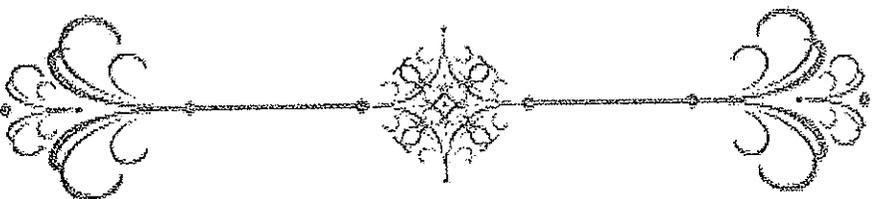
Arroz Negro	\$22/person
chunks of fish, squid ink, shrimp, squid,	
scallops	

Fideua	\$22/person
crispy fideus, shrimp, cuttle fish, mussels, fish	

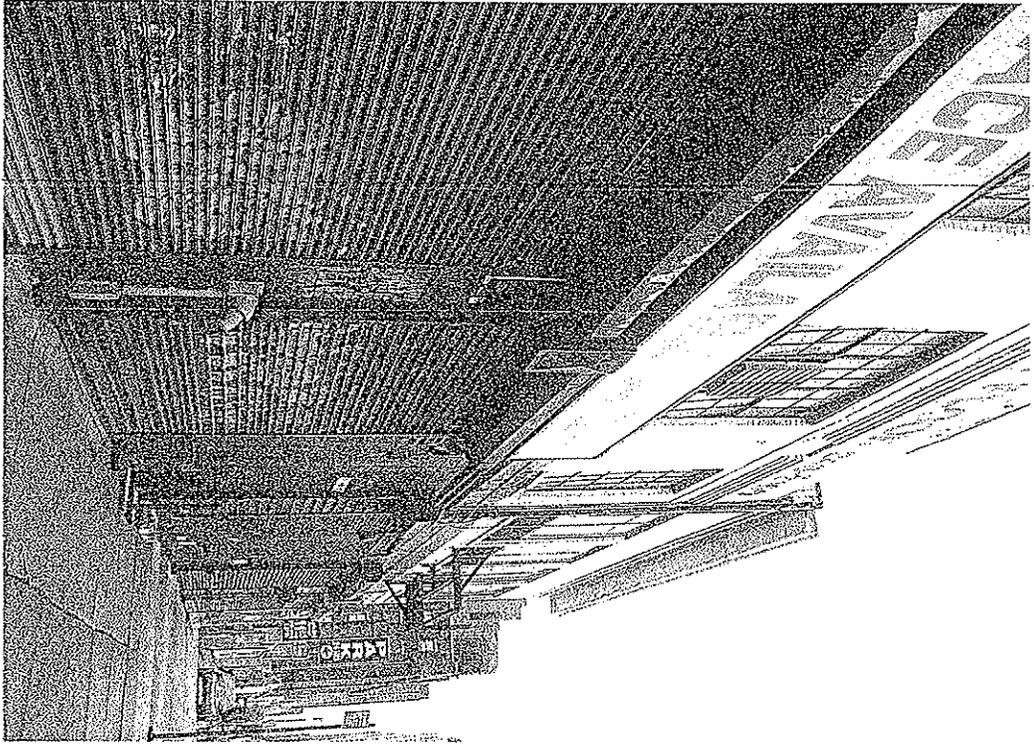
Fideua Negra de Coditos	\$22/person
macaroni pasta, chunks of fish, shrimp, cuttle fish, cockle clams, squid ink soffrit	

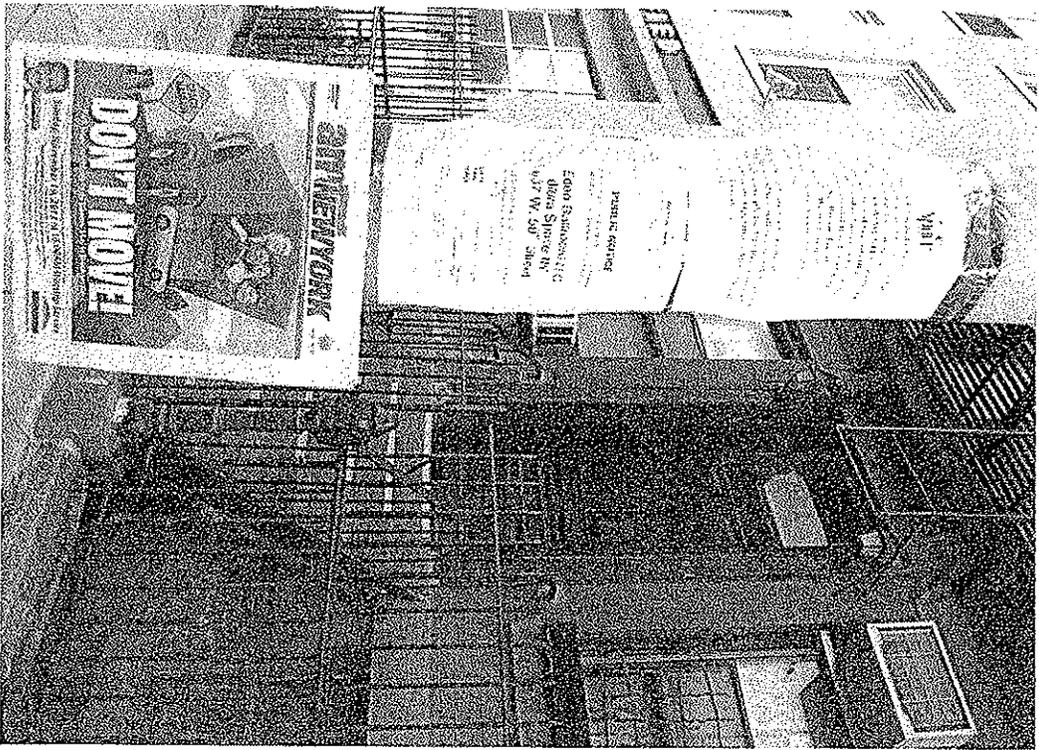
## TAPAS

Gazpacho chilled Andalus tomato soup	7
Canelones stuffed canelones with shrimp, spinach manchego, vizcaina sauce	10
Tortilla potato & egg omelette	7
Croquetas del Dia crispy-creamy croquettes	8
Galamar a la Plancha quickly griddled squid, parsley, garlic	10
Ensalada de Remolacha roasted red & golden beets, yellow peppers, manchego vinaigrette, coca crouton	10
Pan Tomaca toasted bread, fresh tomato, olive oil	6
Pisto Manchego sauced vegetables topped with Manchego Cheese	9
Vegetales Asados roasted leeks, scallions, endive, romesco sauce	9



Pocino braised pork belly, roasted potatoes, dates puree	10
Duo de Queso Chefs choice	12
Brandadada de Bacalao potato, cod, olive oil	8
Plato de Embutidos cured chorizo, salchicon, fuet	12
Menestra de Verduras snow peas, fava beans, asparagus, fresh corn, tomato, serrano ham	9
Patatas Bravas spicy potatoes, garlic aioli	9
Pincho Moruno marinated pork loin, cumin, lemon juice, oil	10
Jamon Iberico 24 month dry-aged Spanish ham	22

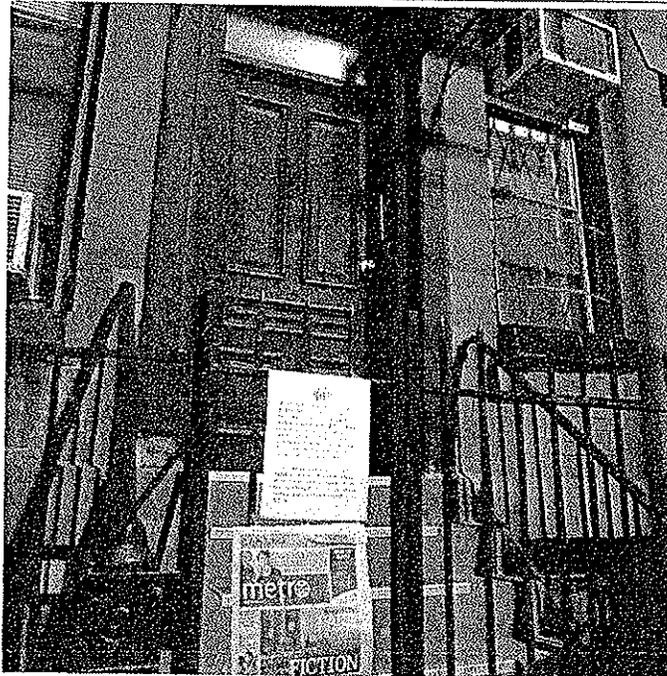




Additional (not required)  
posting notifying  
building inhabitants  
of HK 50/51 monthly  
block association  
meeting 10.24.2013

**SPACE**  
 SPACE nightclub located 637 west 80<sup>th</sup> street on the corner of 80<sup>th</sup> street and West Side Highway will be making another presentation at HK 50/51 Block association meeting this Thursdays October 24<sup>th</sup> Sacred Heart Church ( 51st St. between 8th & 9th Aves.) at 6:30pm. We will present modifications to our existing approved liquor license.

If you have any question, as we are neighbors, and you will not be able to attend this presentation, please feel free to contact Morgan McLean, Operations Manager and Community Liaison @ 917 422 8053.



Morgan  
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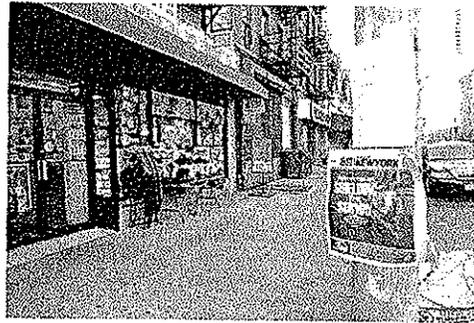
[✉](#) Frank Palillo <fwpalillo@gmail.com> 8 November 2013 09:05  
 To: Morgan McLean <morgan@ibizaunited.com>  
 Cc: Antonio Piacquadio <antonio@spacenewyorkcity.com>, Carlo Seneca <carlo@spacenewyorkcity.com>, Dirk <dirk@spacenewyorkcity.com>, Joseph Kleinmann <joseph@kleinmannarchitects.com>, "morgannyc@me.com" <morgannyc@me.com>  
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North East Corner  
west 51st street and 11th ave



North West Corner  
west 51st street and 11th ave



Street light post  
DIRECTLY INFRONT  
of 621 west 51st st



